

**CITY OF MIDLAND, TEXAS
AGENDA FOR PLANNING AND ZONING COMMISSION
MEETING
June 15, 2026 - 3:30 PM
300 North Loraine
Midland, Texas
Council Chamber - City Hall**



Notice is hereby given that a public meeting will be held by the Planning and Zoning Commission of the City of Midland, in the Council Chamber, City Hall, 300 N. Loraine, Midland, Texas, at or following the time specified, to consider the following:

OPENING ITEMS

1. Pledge of Allegiance

PUBLIC COMMENT

Receive comments from members of the public who desire to address the Planning and Zoning Commission regarding items on the present agenda for which public hearings will not be held. (Please limit comments to three minutes or less.)

CONSENT AGENDA

2. - Motion approving the June 1, 2026, P&Z meeting minutes. **(DEVELOPMENT SERVICES) ()**
3. - Motion approving a Final Plat of Mockingbird Ridge, Section 19, being a plat of a 22.90-acre tract of land out of Section 18, Block 38, T-1-S, A-734, T&P RR. Co. Survey, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of Arapahoe Road and Waxwing Drive.) **(DISTRICT: 1) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
4. - Motion approving a Final Plat of Kent North Big Spring Addition, being a plat of a 5.57-acre tract of land out of Section 2, Block X, H.P. Hilliard Survey, City and County of Midland, Texas. (Generally located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane.) **(DISTRICT: 1) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
5. - Motion to review and consider the Declaration of Restrictive Covenants for the proposed Mockingbird Ridge subdivision, being a 632.196-acre tract of land located in Section 18, Block 38, T-1-S, A-734, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located at the northeast corner of the intersection North Fairgrounds Road and East Mockingbird Lane.) **(DISTRICT: 1) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
6. - Motion approving a Final Plat of Claydesta Plaza North, Section 8, being a replat of Lot 8, and the north 0.286 acres of Lot 7, Block 2, Claydesta Plaza North, Section 6, City and County of Midland, Texas. (Generally located at the southwest corner of the intersection of Sharp Lane and North Big Spring Street) **(DISTRICT: 3) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
7. - Motion approving a Final Plat of Permian Estates, Section 24, being a replat of Lots 18 and 19, Block 81, Permian Estates, City and County of Midland, Texas (Generally located at the northwest corner of the intersection of West Wall Street and Fasken

Drive) (DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)

8. - Motion approving a Final Plat of Warfield Industrial Park, Section 3, being a replat of Lot 1, Block 1, Warfield Industrial Park, and a 4.66-acre tract of land out of Section 18, Block 40, T-2-S, T&P RR Co Survey, Midland County, Texas (Generally located at the southwest corner of the intersection of West County Road 127 and South Farm to Market Road 1788) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

PUBLIC HEARINGS

The Planning and Zoning Commission will hold public hearings on the following items:

9. - Hold a public hearing and consider a Preliminary Plat of Arnett's Acres, Section 2, being a replat of Lot 5, Arnett's Acres, City and County of Midland, Texas. (Generally located on the east side of North Lamesa Road, approximately 350 feet north of East Golf Course Road.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
10. - Hold a public hearing and consider a Preliminary Plat of Plainsview Estates, Section 2, being a replat of Lot 5, Block 1, Plainsview Estates, City and County of Midland, Texas. (Generally located on the east side of Todd Road, approximately 1,070 feet north of East County Road 77.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) ()**
11. - Hold a public hearing and consider a request by Chase Gardaphe for a Specific Use Designation without Term for a Manufactured Home Park on a 35.05-acre tract of land out of Section 25, Block 39, T-1-S, T&P RR Co Survey, City and County of Midland, Texas. (Generally located on the west side of North Fairgrounds Road, approximately 650 feet north of East Cuthbert Avenue.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
12. - Hold a public hearing and consider a Preliminary Plat of Southern Addition, Section 37, being a replat of Lots 13 through 18, and the south half of previously vacated 20' alley (Ordinance 9535), Block 143, Southern Addition, City and County of Midland, Texas. (Generally located at the northeast corner of the intersection of South Fort Worth Street and East Pennsylvania Avenue.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
13. - Hold a public hearing and consider a Preliminary Plat of Original Town, Section 32, being a replat of the middle 50 feet of Lot 2, Block 73, Original Town, City and County of Midland, Texas. (Generally located on the west side of South Marshall Street, approximately 75 feet north of East Missouri Avenue.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
14. - Hold a public hearing and consider a request by Addis Getahun, on behalf of Lifehouse Fellowship Church for a Specific Use Designation without Term for a Residential Assisted Living Facility on Lot 3A, Block 25, Plantation Hills, Section 23, City and County of Midland, Texas. (Generally located on the east side of Whitman Drive, approximately 350 feet north of Bluebird Lane.) **(DISTRICT: 1) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
15. - Hold a public hearing and consider a Preliminary Plat of Vista Del Pueblo, Section 4, being a replat of Lots 1,2,3,4,11,14,15, and 16, Block 1, Vista Del Pueblo, Lot 10A, Block 1, Vista Del Pueblo, Section 3, City and County of Midland, Texas and a plat of 19.86-acre tract of land out of Section 29, Block 38, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the east side of Todd Drive,

approximately 1,200 feet south of Ann Drive.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

MISCELLANEOUS

16. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Basin View Estate, being a plat of a 2.06-acre tract of land out of Section 27, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the east side of North County Road 1135, approximately 730 feet south of East County Road 60.) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
17. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Ranchland Acres, Section 3, being a plat of a 2.82-acre tract of land out of Section 7, Block 39, T-2-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the south side of West Interstate 20, approximately 210 feet east of South Butterfield Trail.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
18. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Bizzell-Kiser Addition, Section 12, being a replat of Lots 1A and 11A, Block 10 and Lots 1A and 2A, Block 7, Bizzell-Kiser Addition, Section 4, City and County of Midland, Texas. (Generally located on the south side of East Peck Avenue, approximately 530 feet west of South Terrell Street.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
19. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Westridge Park Addition, Section 61, being a replat of a 4.497-acre tract of land out of Lot 10, Block 7, Westridge Park Addition, Section 39, City and County of Midland, Texas. (Generally located on the north side of Deauville Boulevard, approximately 285 feet west of Griffith Drive.) **(DEVELOPMENT SERVICES) ()**
20. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Highland Park Extension, Section 3, being a 5.32-acre tract of land out of section 27, Block 39, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas (Generally located at the northeast corner of the intersection of West Louisiana Avenue and N Street) **(DISTRICT: 3) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
21. - Motion approving, with staff's recommended conditions, a Preliminary Plat of Redneck Retreat, Section 8 being a plat of a 10-acre tract of land in the north half of B F Wolcott Survey, Block 38, T-2-S, Midland County, Texas. (Generally located on the west side of South County Road 1160, approximately 1,580 feet south of East County Road 140) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

Landon J. Ochoa
Planning Division Manager
Department of Development Services

MEETING ASSISTANCE INFORMATION: The City of Midland Planning and Zoning

Commission meetings are available to all persons regardless of disability. If you require special assistance, please contact the Planning Division at 432-685-7400 or write to us at P.O. Box 1152, Midland, Texas 79702, at least 48 hours in advance of the meeting.

**CITY OF MIDLAND, TEXAS
MINUTES FOR PLANNING AND ZONING COMMISSION
MEETING
June 1, 2026 - 3:30 PM**



The Planning and Zoning Commission convened in a meeting in the Council Chamber, City Hall, Midland, Texas, at 3:30 PM, June 1, 2026.

Members present: Dara Richardson, Brandon Ofield, Joshua Sparks, Brennan Berry, Joshua Garza, J. Brian Martin

Members absent: Aaron Hunter, Lucy Sisniega, BreAnna LaFoy

Staff members present: Alexis M. Martinez, Beatriz Quezada, Lori Elliott, Madelim Jaquez, Angelina Bettanini

OPENING ITEMS

1. Pledge of Allegiance

PUBLIC COMMENT

Receive comments from members of the public who desire to address the Planning and Zoning Commission regarding items on the present agenda for which public hearings will not be held. (Please limit comments to three minutes or less.)

CONSENT AGENDA

Motion passed with the following vote:

AYE: Joshua Garza, J. Brian Martin, Joshua Sparks, Dara Richardson, Brandon Ofield, Brennan Berry

NAY:

ABSTAIN:

ABSENT: Aaron Hunter, BreAnna Lefoy, Lucy Sisniega

2. - Motion approving the May 18, 2026, P&Z meeting minutes. **(DEVELOPMENT SERVICES) ()**
3. - Motion approving a Final Plat of Country Sky Addition, Section 32, being a plat of a 3.03-acre tract of land out of Section 26, Block 40, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the north side of Cactus Trail, approximately 365 feet west of Tumbleweed Trail.) **(DISTRICT: 4) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
4. - Motion approving a Final Plat of Garnett Addition, Section 2, being a replat of Lot 1, Block 1, Garnett Addition, and a 0.86 acre-tract of land situated in Section 6, Block 38, T-2-S, T&P RR Co. Survey, City and County of Midland, Texas (Generally located at the northeast corner of the intersection of East Interstate 20, and East State Highway 158) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
5. - Motion approving a Final Plat of 1788 Industrial, Section 1, being a replat of a 8.04-

acre tract of land out of Western Roses Memorial Park, Inc, and a 39.29-acre tract of land out of Section 30, Block 40, T-1-S, T&P RY Co. Survey, Midland County, Texas. (Generally located on the east side of North Farm to Market 1788, approximately 1,970 feet south of West County Road 61.) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

6. - Motion approving a Final Plat of West 80 Industrial Park, Section 6, being a plat of a 1.32-acre tract of land out of Section 6, Block 39, T-2-S, T&P, RR Co. Survey, City and County of Midland, Texas (Generally located on the north side of West Wall Street, approximately 690 feet west of South Eisenhower Drive) **(DISTRICT: 4) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
7. - Motion approving a Final Plat of Devon Addition, Section 10, being a plat of a 2.90-acre tract of land out of Section 8, Block 40, T-2-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the south side of Younger Road, approximately 315 feet west of Fortress Drive.) **(DISTRICT: 4) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
8. - Motion approving a Final Plat of Club Estates, Section 3, being a replat of the west 46 feet of Lot 3, all of Lots 4 and 5, and the east 8 feet of Lot 6, Block 3, Club Estates, City and County of Midland, Texas. (Generally located on the south side of Harvard Avenue, approximately 230 feet west of North B Street.) **(DISTRICT: 3) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
9. - Motion approving a Final Plat of Elkins Road Addition, Section 1, being a 21.560-acre tract of land out of the northwest quarter of Section 33, and the southwest quarter of Section 28, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the east side of Elkins Road, approximately 1,165 feet north of East County Road 72) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
10. - Motion approving a Final Plat of Antelope Ridge, being a 225.28-acre tract of land, located in Section 13, 14, 23 and 24, Block 40, T-2-S, T.&P. RR. Co. Survey, Midland County, Texas. (Generally located on the west side of West County Road 130, approximately 1,120 feet north of West County Road 135) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
11. - Motion approving a Final Plat of Ruedas Addition, Section 3, being a 6.00-acre tract of land out of the southwest quarter of Section 23, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the east side of North County Road 1130, approximately 195 feet south of East County Road 57.) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**
12. - Motion approving a Final Plat of Serapa Addition, Section 2, being a plat of a 48.80-acre tract of land out of Section 47, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located at the southeast corner of the intersection of East County Road 95 and South County Road 1130.) **(EXTRATERRITORIAL JURISDICTION) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

PUBLIC HEARINGS

The Planning and Zoning Commission will hold public hearings on the following items:

13. - Motion approving a Final Plat of South Park Addition, Section 8, being a replat of Lot 1A, Block 44, Lot 2A, Block 43, and Lot 3, Block 1, South Park Addition, Section 6, and the south 0.42 acres of the east 1.00 acre of the west 2.00 acres of Tract 1, Bizzell-Kiser Addition, City and County of Midland, Texas. (Generally located at the southeast corner of the intersection of East Hicks Avenue and South Fort Worth Street.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

Planner Lori Elliott to present this item.

The public hearing opened at 3:36 p.m.

There was no one wishing to speak on this item.

The public hearing closed at 3:36 p.m.

Motion passed with the following vote:

AYE: Joshua Garza, J. Brian Martin, Joshua Sparks, Dara Richardson, Brandon Ofield, Brennan Berry

NAY:

ABSTAIN:

ABSENT: Aaron Hunter, BreAnna Lefoy, Lucy Sisniega

14. - Motion approving a Final Plat of Edwards, Section 3, being a replat of the east 55 feet of Lots 12 and 13. (Generally located on the north side of Mississippi Avenue, approximately 70 feet east of North Fort Worth Street.) **(DISTRICT: 2) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

Planner Angelina Bettanini to present this item.

The public hearing opened at 3:37 p.m.

There was no one wishing to speak on this item.

The public hearing closed at 3:37 p.m.

Motion passed with the following vote:

AYE: Joshua Garza, J. Brian Martin, Joshua Sparks, Dara Richardson, Brandon Ofield, Brennan Berry

NAY:

ABSTAIN:

ABSENT: Aaron Hunter, BreAnna Lefoy, Lucy Sisniega

15. - Motion approving a Final Plat of 349 Ranch Estates, Section 29, being a replat of Lot 9, Block 12, 349 Ranch Estates, City and County of Midland, Texas. (Generally located on the east side of Kanawha, approximately 125 feet north of Washita.) **(DISTRICT: 1) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)**

Planner Angelina Bettanini to present this item.

The public hearing opened at 3:39 p.m.

There was no one wishing to speak on this item.

The public hearing closed at 3:40 p.m.

Motion passed with the following vote:

AYE: Joshua Garza, J. Brian Martin, Joshua Sparks, Dara Richardson, Brandon Ofield, Brennan Berry

NAY:

ABSTAIN:

ABSENT: Aaron Hunter, BreAnna Lefoy, Lucy Sisniega

MISCELLANEOUS

16. - Motion approving, with staff's recommended conditions, a Preliminary Plat of West 191 Industrial Park, Section 18, being a replat of Lots 26, 27 and 28, Block 1, West Industrial Park, Section 16, City and County of Midland, Texas. (Generally located on the north side of State Highway 191, approximately 220 feet west of Holdridge Road.)
(DISTRICT: 4) (DEVELOPMENT SERVICES) (QUALITY OF LIFE AND PLACE)

Motion passed with the following vote:

AYE: Joshua Garza, J. Brian Martin, Joshua Sparks, Dara Richardson, Brandon Ofield, Brennan Berry

NAY:

ABSTAIN:

ABSENT: Aaron Hunter, BreAnna Lefoy, Lucy Sisniega

Landon Ochoa, Planning Division
Manager Department of Development
Services

Joshua Sparks, Chair

Date

Date



Planning and Zoning Commission Meeting

Item Number: 3.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Beatriz Quezada, Planner
Subject: Motion approving a Final Plat of Mockingbird Ridge, Section 19, being a plat of a 22.90-acre tract of land out of Section 18, Block 38, T-1-S, A-734, T&P RR. Co. Survey, City and County of Midland, Texas. (Generally located on the southeast corner of the intersection of Arapahoe Road and Waxwing Drive.)

Purpose:
Preliminary Plat Approval:

Maverick Engineering, on behalf of Betenbough Homes, LLC, is requesting to plat a 22.90-acre tract of land out of land into a total of 105 lots for a future land residential development.

The preliminary plat was approved by the Planning and Zoning Commission on October 20, 2025 and by City Council on October 28, 2025.

Recommended Action:
Approve

Fiscal Impact:
None

Strategic Priority:
QUALITY OF LIFE AND PLACE

Discussion:
Current Zoning:

PD, Planned Development District for a Housing Development.

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificates from both Midland County and the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Engineering: (Approved with Conditions)

* * * Approved with Conditions Per Midland City Code Sect. 11-2-3(G)1: "Timing of public improvements. Except as provided otherwise herein, all street, alley, water, sanitary or storm sewer, and other public improvements, as well as lot improvements on the individual lots of the subdivision or addition as required in these regulations, for subdivisions within the City or within 1.5 kilometers (0.93 miles) thereof, shall be installed as required by the public improvement plans, prepared in accordance with Section 11-2-4, offered for dedication and accepted by the City prior to final plat approval. The required improvements shall be those specified and approved by the City in the public improvement plans. As used in this Section, "lot improvements" refers to grading and installation of improvements required for proper drainage and prevention of soil erosion."

IMPACT FEES: Okay as shown. [For Applicant's Information Only.]

ROW: ROW okay as shown. [For Applicant's Information Only.]

PAVING: Internal paving improvements have not been accepted nor has a final walk-through been requested. Per City code, the developer is required for 1/3 the cost/construction of Fairgrounds and Todd, based on maximum 20-meters (68-foot) width including C & G arterial construction standards.[Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

WATER: Water improvement have not been accepted nor has a final walk-through been requested. Developer's responsibility for Todd Drive improvements has not yet been completed. [Reference City Code Sect. 11-2-3(G)1]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None [For Applicant's Information Only.]

SEWER: Wastewater improvement has not been accepted nor has a final walk-through been requested. Developer's responsibility for Todd Drive improvements has not yet been completed. [Reference City Code Sect. 11-2-3(G)1]

DRAINAGE: Drainage study has been approved. Comply with Mockingbird Ridge Phase 15-26 Drainage Study, prepared by Maverick Engineering and approved by City on 10/14/2025. [For Applicant's Information Only.]

EASEMENTS: Okay as shown. [For Applicant's Information Only.]

SIDEWALKS: Sidewalk improvement have not been accepted nor has a final walk-through been requested. Developer's responsibility for Fairgrounds and Todd Drive improvements has not yet been completed. [Reference City Code Sect. 11-2-3(G)1]

DIMENSION: * * *

OTHER: ***

Transportation: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

Fire: (Approved)

The Fire Department has reviewed the final plat and has no objection to approval. This approval is limited to platting only and does not constitute approval of fire code compliance or guarantee of adequate fire protection infrastructure. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903). Compliance will be verified during the civil plan review and building permit submittal.

Oil and Gas: (Approved)

Informational: Any occupied residential/commercial building inside the 500 ft. radius will require a variance to the permitted battery from the City Council.

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

GIS: (Approved)

Check POB. Provide another set of x-y coordinates. (Plat may encroach into plats north) (Lone Star Trails II)

Addressing Review: (Approved)

No comments.

Health Department: (Approved)

The lots show a utilities easement on this plat, no need for septic systems for these lots.

Planning: (Approved)

Staff recommends approval of the Final Plat of Mockingbird Ridge, Section 19, subject to Condition A.

- A. **All required public improvements must be completed before filing for recording with the County Clerk of Midland County, Texas. [Per Midland City Code Sect. 11-2-3(G)1]**

Attachments:

- A. P-26-2567, Combined Files
- B. P&Z - - Mockingbird Ridge Section 19 Final

Beatriz Quezada, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/3/2026
Final Approval - 6/12/2026

LINE TABLE

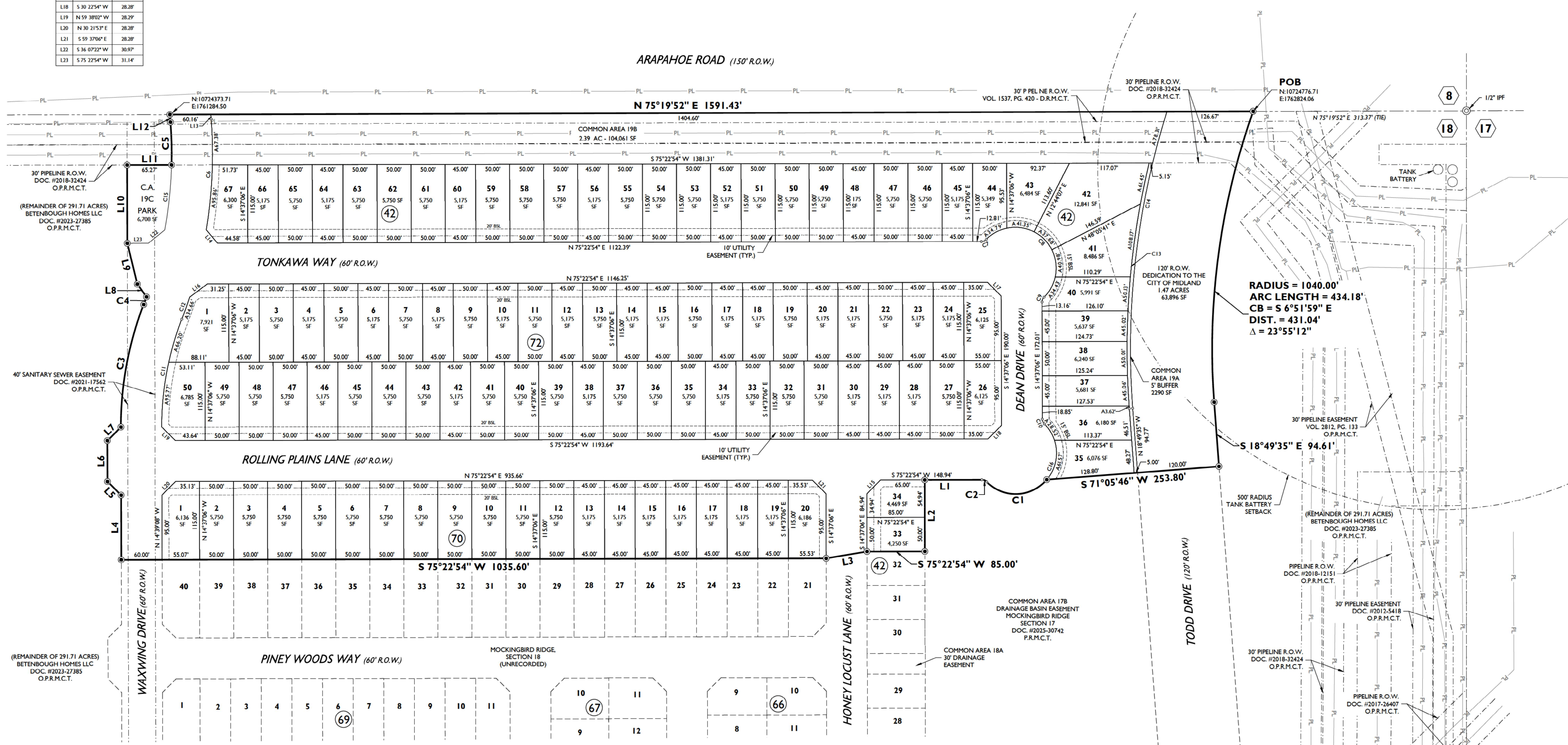
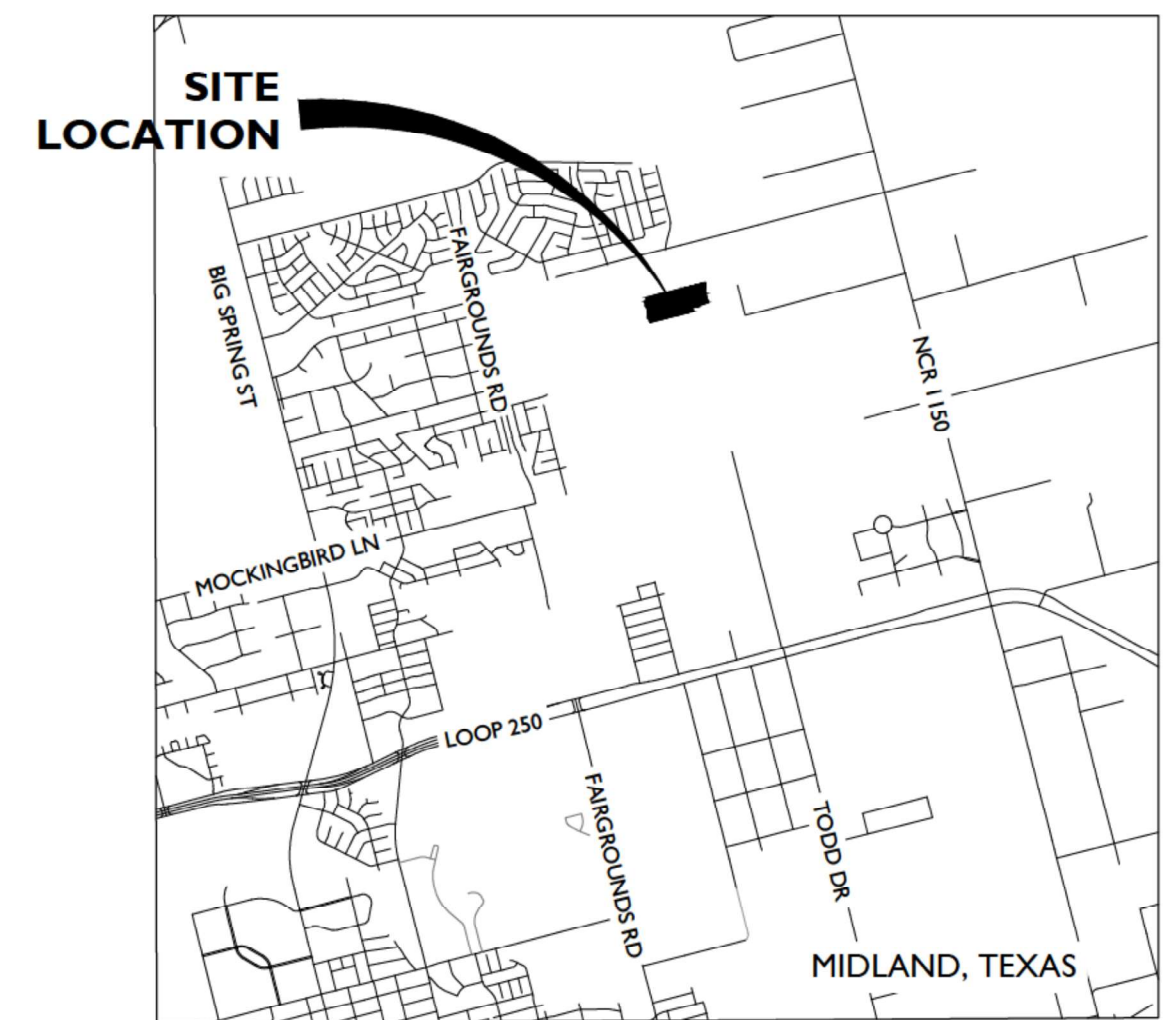
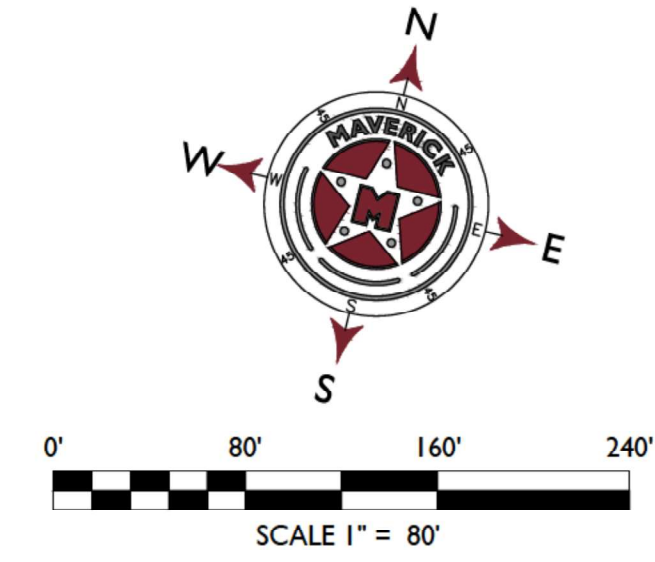
LINE	BEARING	DISTANCE
L1	S 75° 22' 54" W	82.94
L2	S 14° 37' 06" E	104.94
L3	S 65° 51' 37" W	60.84
L4	N 14° 39' 08" W	95.00
L5	N 59° 38' 02" W	28.29
L6	N 14° 39' 08" W	60.00
L7	N 30° 21' 58" E	28.28
L8	N 50° 02' 47" W	23.19
L9	N 28° 23' 28" W	61.78
L10	N 14° 37' 06" W	115.00
L11	N 75° 22' 54" E	65.27
L12	N 18° 52' 38" E	11.25
L13	S 18° 52' 38" E	6.83
L14	S 54° 23' 42" E	25.59
L15	S 30° 22' 54" W	28.28
L16	N 39° 04' 41" E	32.24
L17	S 39° 37' 06" E	28.28
L18	S 30° 22' 54" W	28.28
L19	N 59° 38' 02" W	28.29
L20	N 30° 21' 53" E	28.28
L21	S 59° 37' 06" E	28.28
L22	S 36° 07' 22" W	30.97
L23	S 75° 22' 54" W	31.14

CURVE TABLE

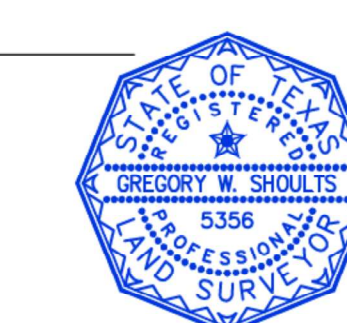
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	99.14	60.00	88.24	S 73° 32' 57" W	94.40° 09'
C2	7.92	10.00	7.71	N 81° 56' 32" W	45.21° 07'
C3	184.16	500.00	183.12	N 03° 59' 11" W	21.06° 11"
C4	11.89	615.00	11.89	N 06° 00' 40" E	1.062° 00"
C5	62.97	615.00	62.90	N 15° 56' 40" W	5.51° 44"
C6	163.24	675.00	162.84	S 11° 56' 56" E	13.51° 32"
C7	7.92	10.00	7.71	N 52° 42' 20" E	45.21° 07'
C8	189.23	60.00	120.00	S 59° 37' 06" E	180.42° 15"
C9	7.92	10.00	7.71	S 08° 09' 28" W	45.21° 07'
C10	7.92	10.00	7.71	S 17° 40' E	45.21° 07'
C11	161.97	440.00	161.06	N 03° 58' 51" W	21.05° 31"
C12	34.66	675.00	34.65	N 05° 05' 40" E	2.56° 30"
C13	363.47	1165.00	362.00	N 09° 53' 19" W	17.52° 34"
C14	44.44	1160.00	43.78	N 07° 53' 28" W	21.48° 15"
C15	96.04	615.00	95.94	S 08° 32' 28" E	8.56° 50"
C16	189.23	60.00	120.00	S 30° 22' 54" W	180.42° 15"

MOCKINGBIRD RIDGE, SECTION 19

BEING A 22.90-ACRE TRACT OF LAND, SITUATED IN SECTION 18, BLOCK 38, T-1-S, A-734, T&P RY. CO. SURVEY, CITY OF MIDLAND, MIDLAND COUNTY, TEXAS



SURVEYOR'S CERTIFICATE
 KNOW ALL MEN BY THESE PRESENTS:
 THAT I, GREGORY W. SHOULTS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY LOCATED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SURVEY REGULATIONS OF THE CITY OF MIDLAND, TEXAS.



OWNER'S CERTIFICATE
 THE STATE OF TEXAS
 COUNTY OF MIDLAND
 WHEREAS BETENBOUGH HOMES, LLC, IS THE RECORD OWNER OF A TRACT OF LAND SITUATED IN SECTION 18, BLOCK 38, T-1-S, T&P RY. CO. SURVEY, CITY AND COUNTY OF MIDLAND, TEXAS;
 NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
 THAT BETENBOUGH HOMES, LLC, BEING THE OWNER OF THE LAND SHOWN ON THIS PLAT DESIGNATED AS MOCKINGBIRD RIDGE, SECTION 19, AN ADDITION TO THE CITY OF MIDLAND, MIDLAND COUNTY, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, DO HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS, AND EASEMENTS SHOWN THEREON AND DO HEREBY GIVE AN EASEMENT OF INGRESS AND EGRESS TO THE CITY OF MIDLAND FOR GARBAGE COLLECTION, UTILITY FACILITY ACCESS AND MAINTENANCE, LOCATION AND MAINTENANCE OF TRASH CONTAINERS AND ACCESS THERE TO, AND CONDITION SAID EASEMENT THAT NO CONSTRUCTION SHALL COMMENCE ON SAID LOT OR LOTS UNTIL THE EXACT LOCATION OF SAID CONTAINERS THEREWITH HAS BEEN SELECTED AND APPROVED BY THE DIRECTOR OF UTILITIES.

WITNESS MY HAND AT _____, TEXAS, THIS _____ DAY OF _____, 2026.
 BY: BETENBOUGH HOMES, LLC

ACKNOWLEDGEMENT
 THE STATE OF TEXAS
 COUNTY OF MIDLAND
 BEFORE ME, THE UNDERSIGNED AUTHORITY, A NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE WAS ACTING AS OWNER, AND THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED, AND IN THE CAPACITY THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2026.
 NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

CERTIFICATE OF APPROVAL
 THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF MOCKINGBIRD RIDGE, SECTION 19, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, TEXAS ON THIS _____ DAY OF _____, 2026.
 JOSHUA SPARKS, CHAIRMAN
 LANDON OGIAL, SECRETARY
 PLAT FILED FOR RECORD
 MIDLAND COUNTY, TEXAS
 NO. _____
 DATE _____

SURVEY NOTES

1. BASIS OF BEARING, COORDINATES, DISTANCE AND ACREAGE ARE A LAMBERT CONICAL PROJECTION OF THE TEXAS COORDINATE SYSTEM, STATE PLANE GRID, CENTRAL ZONE, NAD 83, U.S. SURVEY FOOT WITH A CONVERGENCE ANGLE (theta) OF 0° 53' 33.93" AND A COMBINED SCALE FACTOR OF 0.999922999 AT THE 112 INCH IRON ROD WITH PLASTIC CAP MARKED "ASB 5689" FOUND FOR THE SOUTHWEST CORNER OF SECTION 18.
2. 1/2" IRON ROD WITH RED PLASTIC CAP MARKED "MAVERICK FIRM # 10194514" AT ALL SET CORNERS, UNLESS OTHERWISE SPECIFIED.
3. SEE DOCUMENTS OR ELECTRONIC DATA FILED IN THE OFFICE OF MAVERICK ENGINEERING FOR COMPLETE RECONSTRUCTION OF THIS SURVEY.
4. LOCATION OF BURIED UTILITIES AND PIPELINES, IF ANY, IS APPROXIMATE BASED UPON OBSERVED EXISTING SIGNAGE, CITY OF MIDLAND GIS AND VISUAL EVIDENCE, OR BY ONE-CALL 811 SITE MARKINGS AT THE TIME OF THIS SURVEY. DUE CARE IS RECOMMENDED. CALL 1-800-DIG-TEXAS FOR LOCATES PRIOR TO ANY CONSTRUCTION OR EXCAVATION.

DEVELOPMENT NOTES

1. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
2. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
3. THE INSTALLATION OF IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS (1) THE REPRESENTED LOTS ARE REBATED FOR SUBDIVISION INTO MORE THAN ONE LOT OR (2) THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
4. DECLARATION OF RESTRICTIVE COVENANTS REGARDING THIS DEVELOPMENT FILED IN INSTRUMENT NO. 2024-28706, DATED DECEMBER 6, 2024, MIDLAND COUNTY, TEXAS.
5. IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS, IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
6. PROPOSED SETBACKS AND EASEMENTS THROUGHOUT THE SUBDIVISION ARE AS FOLLOWS: FRONT 20' (CL-DE-SAC 15), SIDE 5', CORNER SIDE 10', REAR 10' AND A 10' GENERAL UTILITY EASEMENT ALONG THE FRONTAGE OF ALL LOTS.
7. NO STRUCTURE SHALL BE BUILT OVER ANY PLUGGED AND ABANDONED WELL.

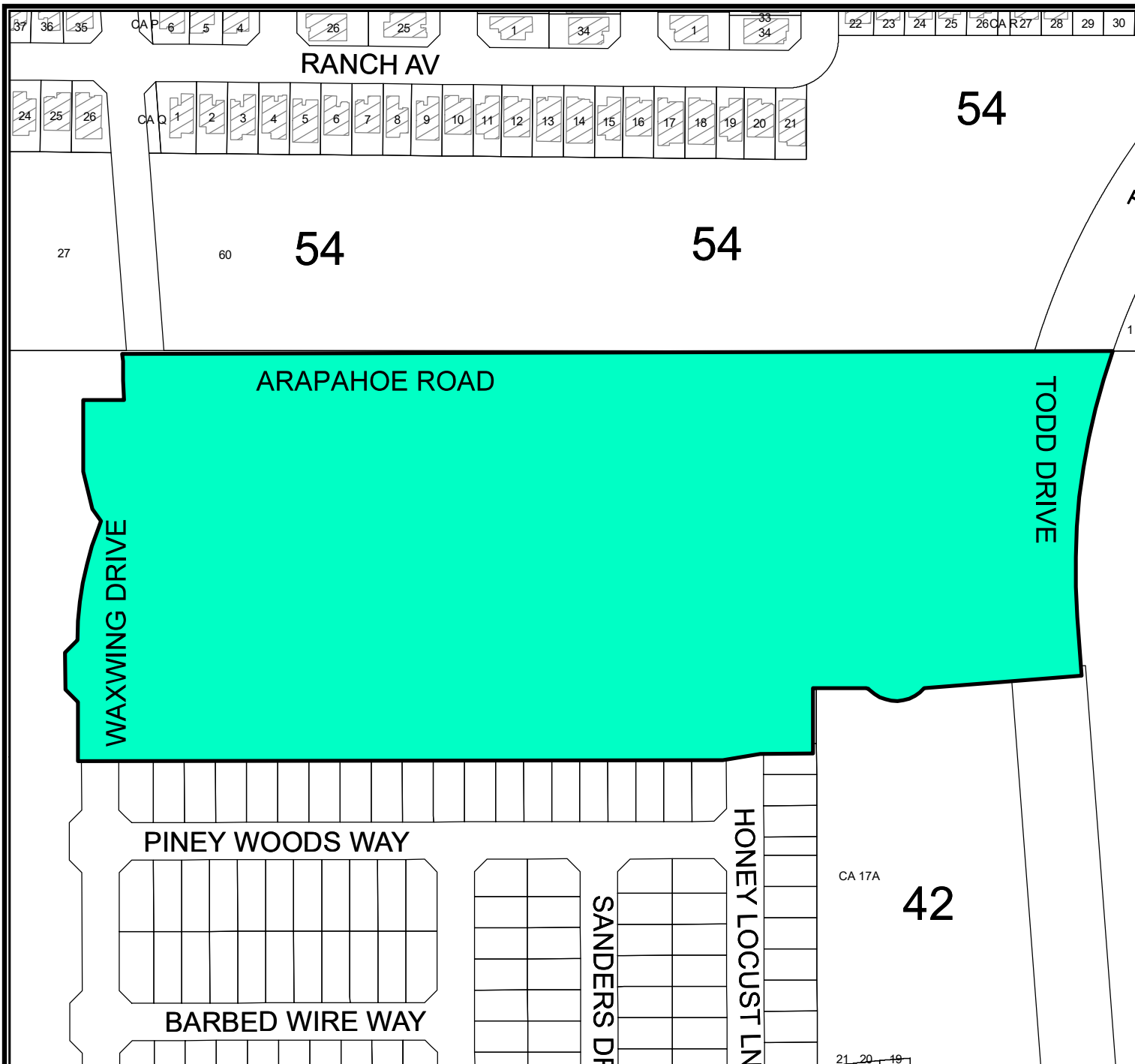
UTILITY COMPANY'S CERTIFICATE
 THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.
 ATROS ENERGY
 BY: Mark Lieb
 Jerry Underwood
 Luis Montez
 Vicki Eyler

LEGEND

- FOUND 1/2-INCH IRON ROD W/RED PLASTIC CAP MARKED "MAVERICK FIRM #10194514" OR AS NOTED
- SET 1/2-INCH IRON ROD W/RED PLASTIC CAP MARKED "MAVERICK FIRM #10194514"
- POINT OF CURVATURE OR TANGENCY
- BOUNDARY LINE
- EXISTING ADJACENT PROPERTY LINES
- EXISTING SECTION LINE
- BUILDING SETBACK LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING BURIED PIPELINE



MOCKINGBIRD RIDGE SECTION 19



Location Map

SUB-24-0761

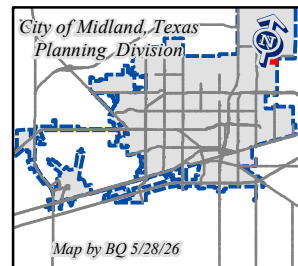
Scale: 1" = 1,500'

Proposed plat of Mockingbird Ridge, Section 19, being a plat of a 22.90-acre tract of land out of Section 18, Block 38, T-1-S, A-734, T&P RR. Co. Survey, City and County of Midland, Texas.

Generally located on the southeast corner of the intersection of Arapahoe Road and Waxwing Drive. (Council District 1)

LEGEND

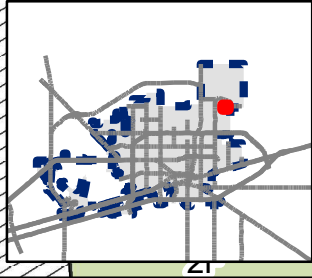
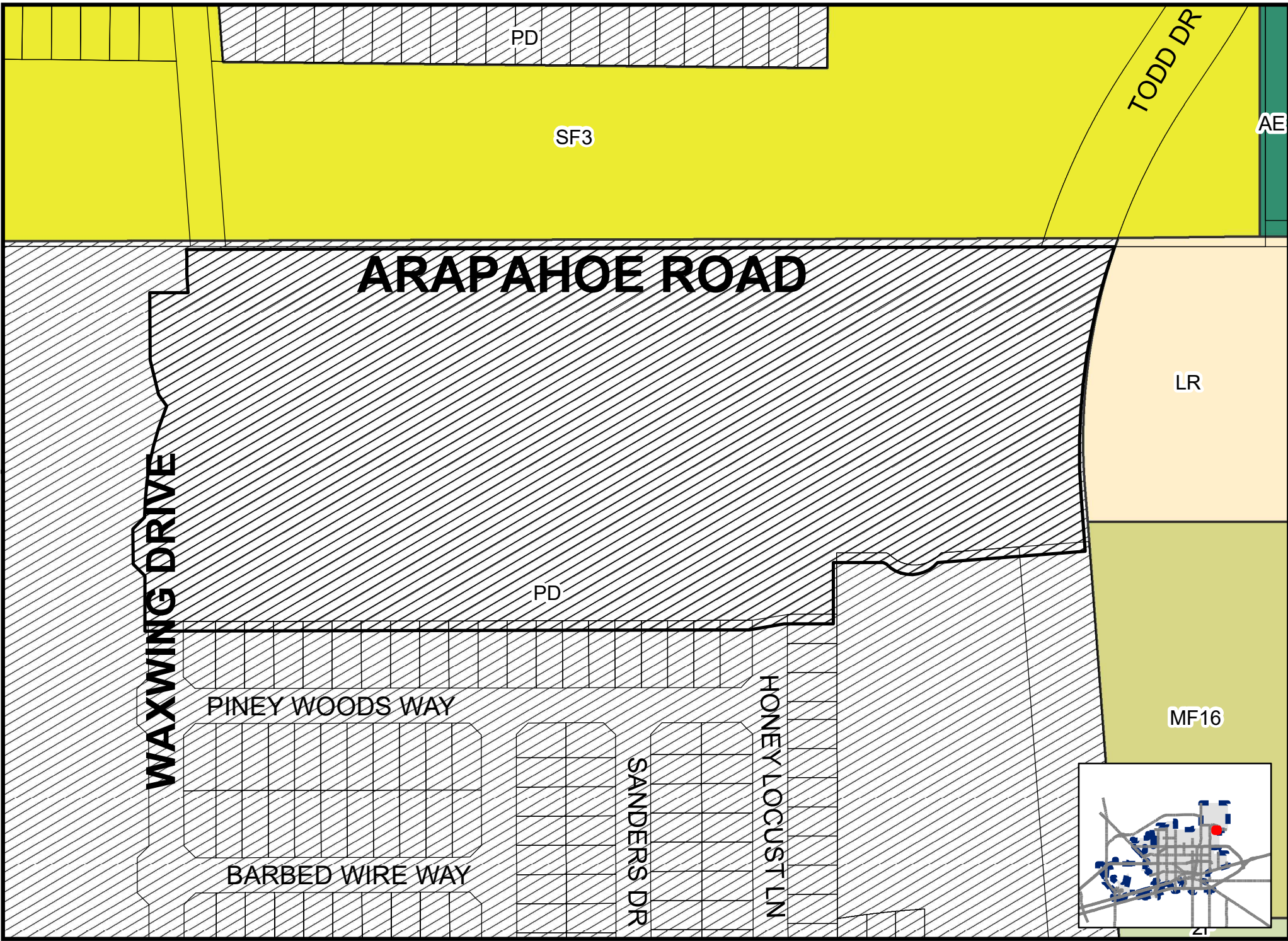
- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



56

54

54

64

TODD



PINEY WOODS WAY

SANDE

HONEY LOCK

42



FINAL PLAT MOCKINGBIRD RIDGE SECTION 19

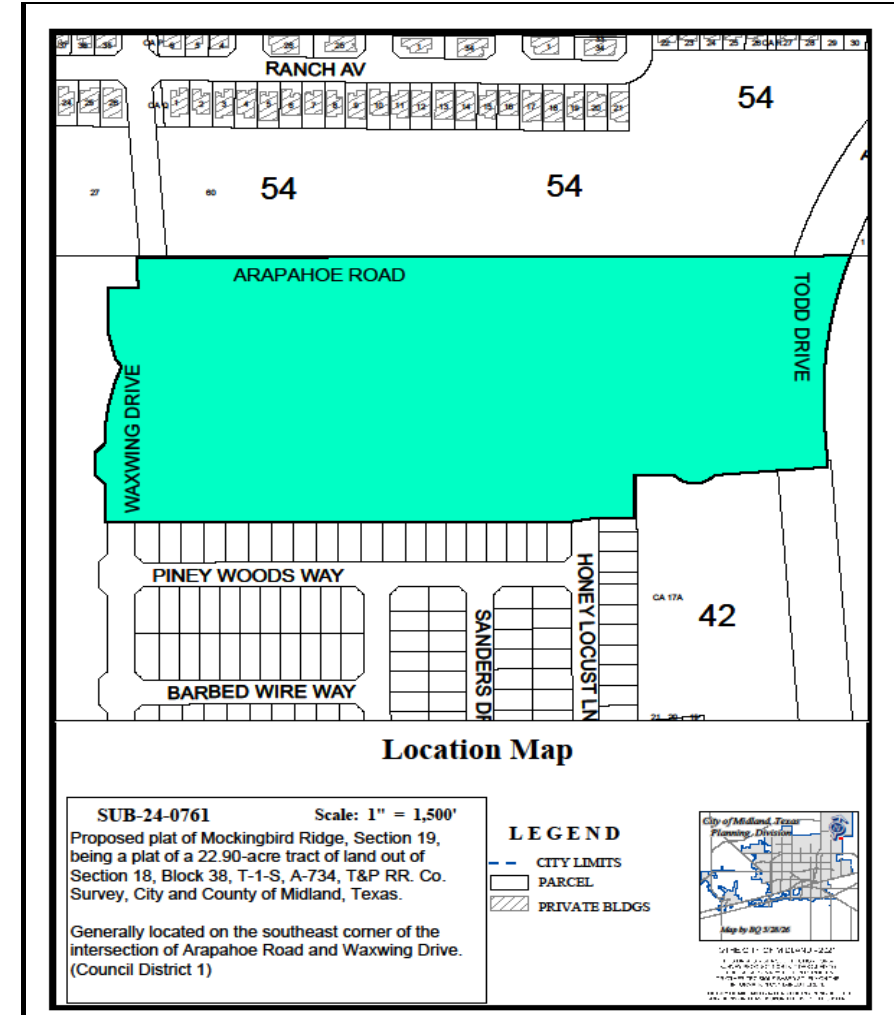


Visit Our Website

MIDLANDTEXAS.GOV

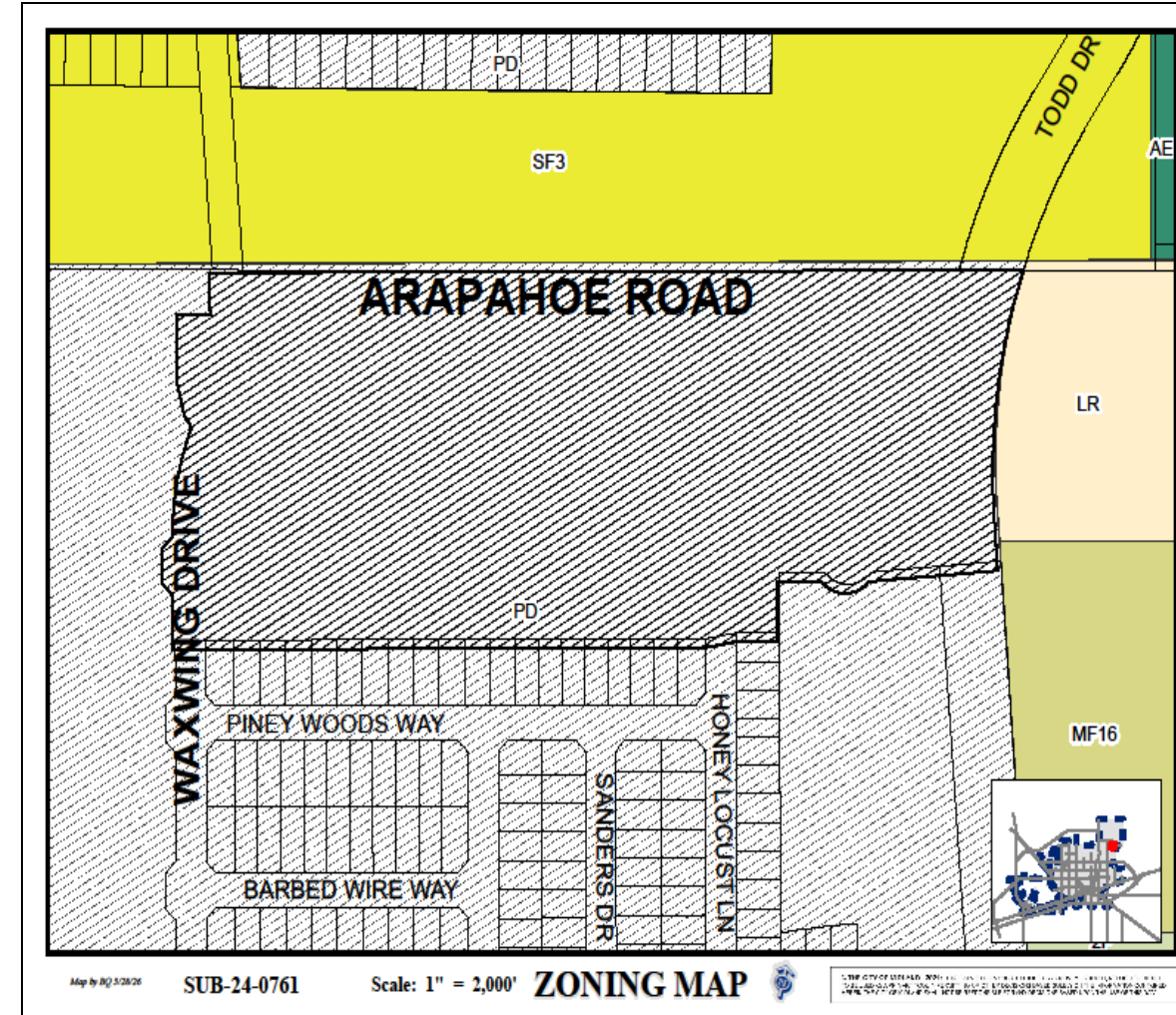
APPLICATION SUMMARY

- **Property Owner:** Betenbough Homes, LLC
- **Representative:** Ashlee Devine, with Maverick Engineering
- **Location:** Generally located on the southeast corner of the intersection of Arapahoe Road and Waxwing Drive. (Council District 1)
- **Reason for Request:** For future residential development



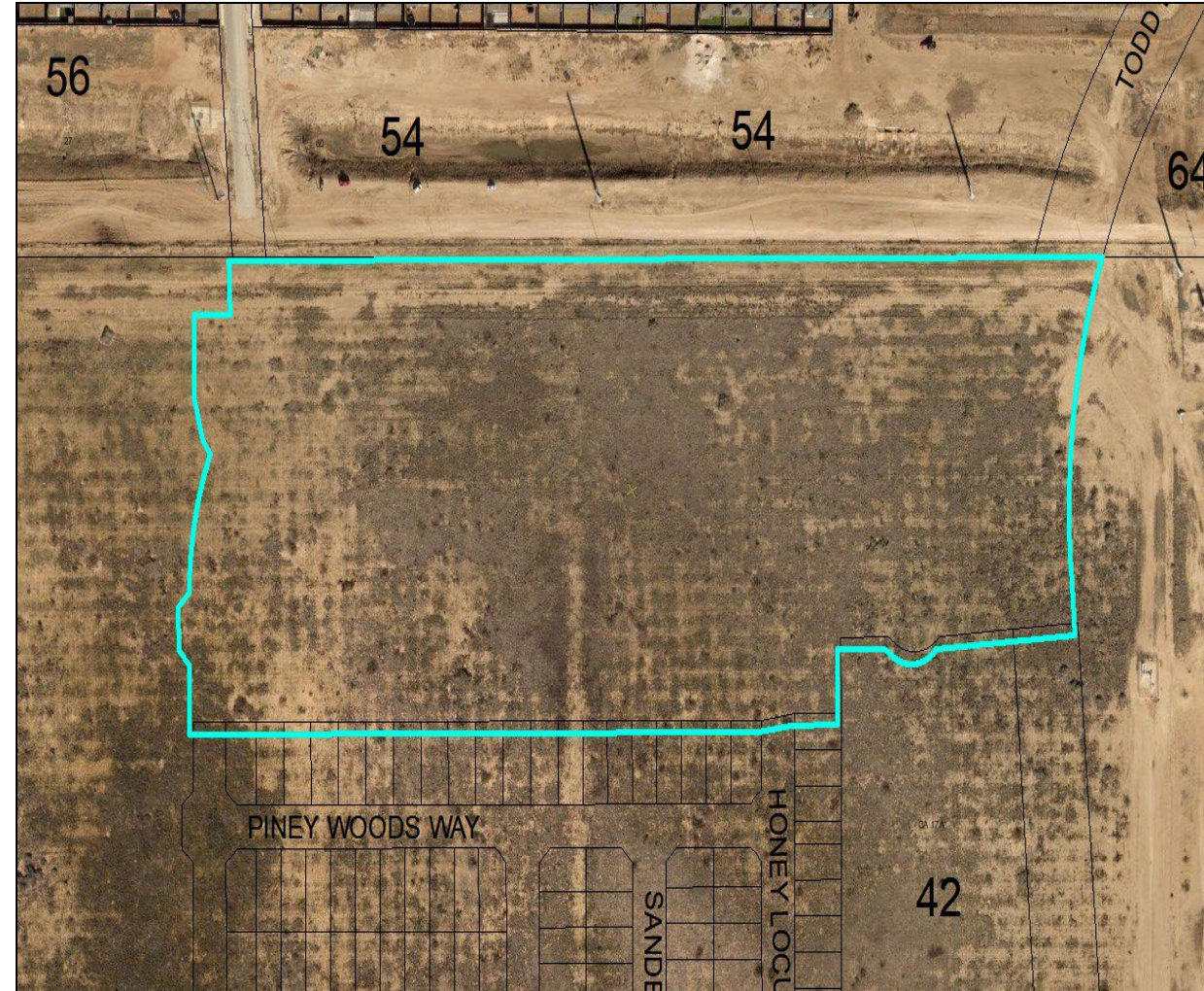
ZONING

- **Current Zoning:** PD, Planned Development District for a Housing Development
- **Surrounding Zoning:**
 - **North:** SF-3, Single-Family Dwelling District
 - **South/West:** PD, Planned Development District for a Housing Development
 - **East:** LR, Local Retail District & MF-16, Multiple-Family Dwelling District



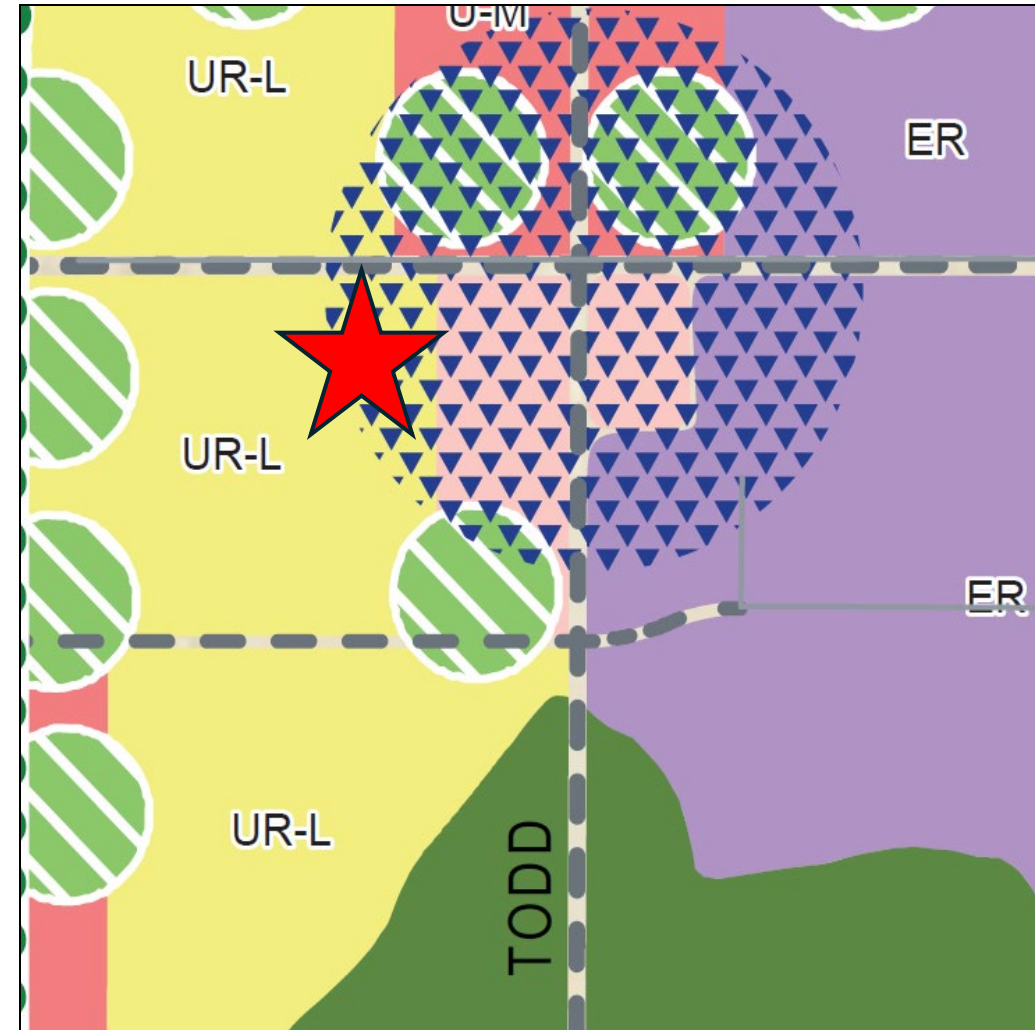
LAND USE

- **Current Use:** Vacant land
- **Surrounding Uses:**
 - **North/South:** Residential
 - **West/East:** Vacant land
- **Proposed Use:** Residential



COMPREHENSIVE PLAN

- **Land Use Designation:** Urban Residential-Low, (UR-L)
- **Supported Uses:** Restrictive land use, emphasizing single-family detached development.



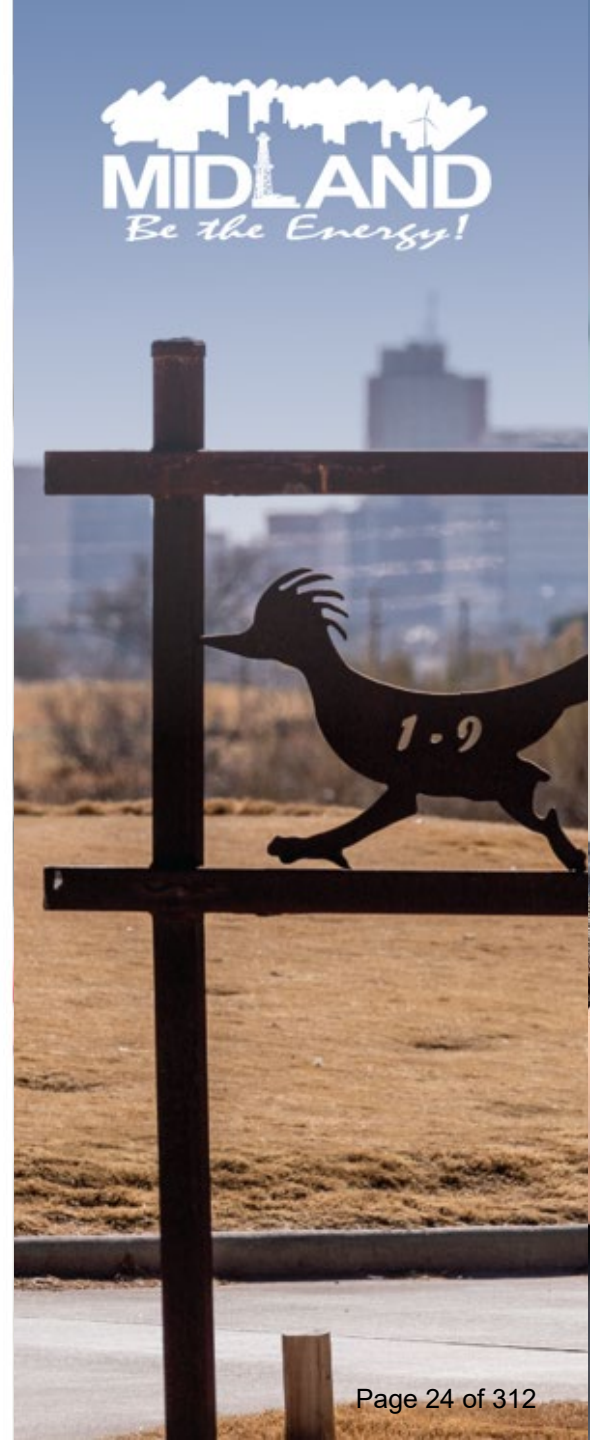
MOCKINGBIRD RIDGE HISTORY

- **Preliminary Plat #1: (317.45-Acres)**
 - Approved by The Planning and Zoning Commission on October 3, 2022.
 - Approved by City Council on October 11, 2022.
- **Preliminary Plat #2: (258.17-Acres)**
 - Approved by the Planning and Zoning Commission on April 17, 2023.
 - Approved by City Council on May 9, 2023.



MOCKINGBIRD RIDGE HISTORY

- **Preliminary Plat #3: (302.39-Acres)**
 - Approved by The Planning and Zoning Commission on September 3, 2024.
 - Approved by City Council on September 24, 2024
- **Mockingbird Ridge Final Plats:**
 - **Mockingbird Ridge, Section 1** was approved by the Planning and Zoning Commission on July 10, 2023, and consisted of 36.35 acres.



MOCKINGBIRD RIDGE HISTORY

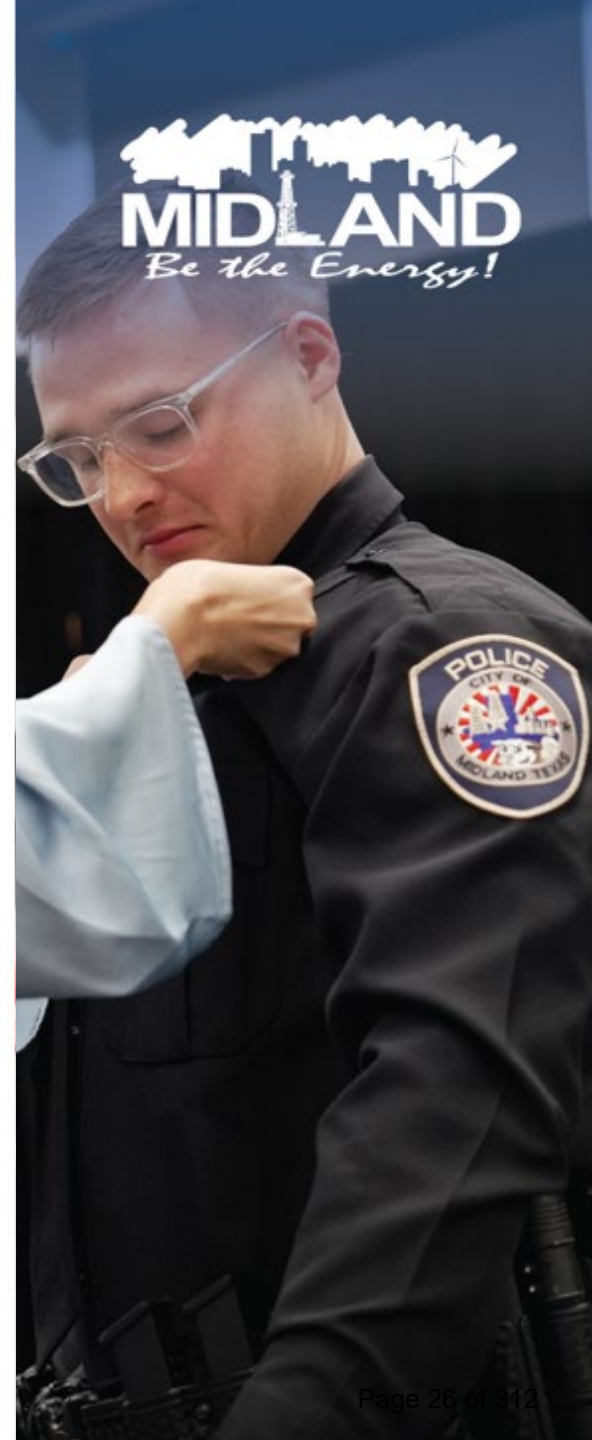
- **Mockingbird Ridge, Section 2** was approved by the Planning and Zoning Commission on September 5, 2023, and consisted of 9.51 acres.
- **Mockingbird Ridge, Section 3** was approved by the Planning and Zoning Commission on September 5, 2023, and consisted of 12.52 acres.
- **Mockingbird Ridge, Section 4** was approved by the Planning and Zoning Commission on December 18, 2023, and consisted of 35.41 acres.



MOCKINGBIRD RIDGE HISTORY

- **Mockingbird Ridge, Section 5** was approved by the Planning and Zoning Commission on February 5, 2024, and consisted of 33.04 acres.
- **Mockingbird Ridge, Section 6** was approved by the Planning and Zoning Commission on March 18, 2024, and consisted of 14.43 acres.
- **Mockingbird Ridge, Section 7** was approved by the Planning and Zoning Commission on June 3, 2024, and consisted of 36.65 acres.
- **Mockingbird Ridge, Section 8** was approved by the Planning and Zoning Commission on June 17, 2024, and consisted of 21.32 acres.

10



MOCKINGBIRD RIDGE HISTORY

- **Mockingbird Ridge, Section 9** was approved by the Planning and Zoning Commission on April 15, 2024, and consisted of 18.99 acres.
- **Mockingbird Ridge, Section 10** was approved by the Planning and Zoning Commission on July 15, 2024, and consisted of 14.37 acres.
- **Mockingbird Ridge, Section 11** was approved by the Planning and Zoning Commission on July 15, 2024, and consisted of 14.83 acres.
- **Mockingbird Ridge, Section 12** was approved by the Planning and Zoning Commission on January 21, 2025, and consisted of 24.50 acres.



MOCKINGBIRD RIDGE HISTORY

- **Mockingbird Ridge, Section 13** was approved by the Planning and Zoning Commission on March 3, 2025, and consisted of 17.21 acres.
- **Mockingbird Ridge, Section 14** was approved by the Planning and Zoning Commission on May 5, 2025, and consisted of 25.91 acres.
- **Mockingbird Ridge, Section 15** was approved by the Planning and Zoning Commission on June 16, 2025, and consisted of 23.27 acres.
- **Mockingbird Ridge, Section 16** was approved by the Planning and Zoning Commission on September 2, 2025, and consisted of 14.77 acres.

12



MOCKINGBIRD RIDGE HISTORY

- **Mockingbird Ridge, Section 17** was approved by the Planning and Zoning Commission on November 17, 2025, and consisted of 25.53 acres.
- **Mockingbird Ridge, Section 18** was approved by the Planning and Zoning Commission on January 5, 2026, and consisted of 16.55 acres.
- **Mockingbird Ridge, Section 20** was approved by the Planning and Zoning Commission on April 6, 2026, and consisted of 19.22 acres.



STAFF'S RECOMMENDATION

- The Preliminary Plat was approved by the Planning and Zoning Commission on October 20, 2025. City Council approved the preliminary plat on October 28, 2025.
- Staff recommends approval of the request subject to the following condition:
 - A. All required public improvements must be completed before filing for recording with the County Clerk of Midland County, Texas. [Per Midland City Code Sect. 11-2-3(G)1]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 4.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Lori Elliott, Planner
Subject: Motion approving a Final Plat of Kent North Big Spring Addition, being a plat of a 5.57-acre tract of land out of Section 2, Block X, H.P. Hilliard Survey, City and County of Midland, Texas. (Generally located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane.)

Purpose:

Durn Henington, on behalf of Kent Lubrication Centers, LTD, is requesting to plat a 5.57-acre tract of land located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane into two lots for future commercial development.

Recommended Action:

Approve

Fiscal Impact:

Approve

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

RR, Regional Retail District

Preliminary Plat Approval:

Durn Henington, on behalf of Kent Lubrication Centers, LTD, is requesting to plat a 5.57-acre tract of land located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane into two lots for future commercial development.

The preliminary plat was approved at the May 4, 2026, Planning and Zoning Commission meeting.

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificates from both Midland County and the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Engineering: (Approved)

IMPACT FEES: Okay as Shown. [For Applicant's Information Only.]

ROW: Refer to Transportation's Comment's. [For Applicant's Information Only.]

PAVING: Solomon roadway okay as is. No public paving improvements required. N. Lamesa roadway okay as is. No public paving improvements required. N. Big Spring Frontage road is TxDOT facility, built and maintained by TxDOT, no improvements required excluding driveways and curb cuts. [For Applicant's Information Only.]

WATER: 12" water exists in Solomon R.O.W N of tract, okay as is. No public water improvements required. 12" water exists in Lamesa Street E of tract, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 6" sewer exists in Solomon N of tract, okay as is. No public wastewater improvements required. 15" sewer exists in Lamesa Street E of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Show compliance with Kent Big Spring North Addition Drainage Study, prepared by SKG Engineering and approved by City on 05/21/2026. [Reference City Code Sect. 11-2-3(D)8]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

Transportation: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.] No objections to plat. [For the Applicant's information only.]

Fire: (Approved)

The Fire Department has reviewed the final plat and has no objection to approval. This approval is limited to platting only and does not constitute approval of fire code compliance or guarantee of adequate fire protection infrastructure. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903). Compliance will be verified during the civil plan review and building permit submittal.

Oil and Gas: (Approved)

No oil and gas issues.

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

GIS: (Approved)

Provide area of dedication. Metes and bounds do not match the plat visual. Calls should include the ROW dedication. (Metes and bounds do not match existing property corners/deed) Lot and dedication lines should be solid.

ADDRESSING: (Approved)

No comments.

AT&T: (Approved)

No issues.

HEALTH DEPARTMENT: (Approved)

The lot is close to a public sewer line, no need for a septic system.

CRMWD: (Approved)

No comments or issues.

Planning: (Approved)

Staff recommends approval of the Final Plat of Kent North Big Spring Addition.

Attachments:

- A. P-26-2561, Kent North Big Spring Addition Final, Combined
- B. P&Z - -, Kent North Big Spring Addition Prelim

Lori Elliott, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026

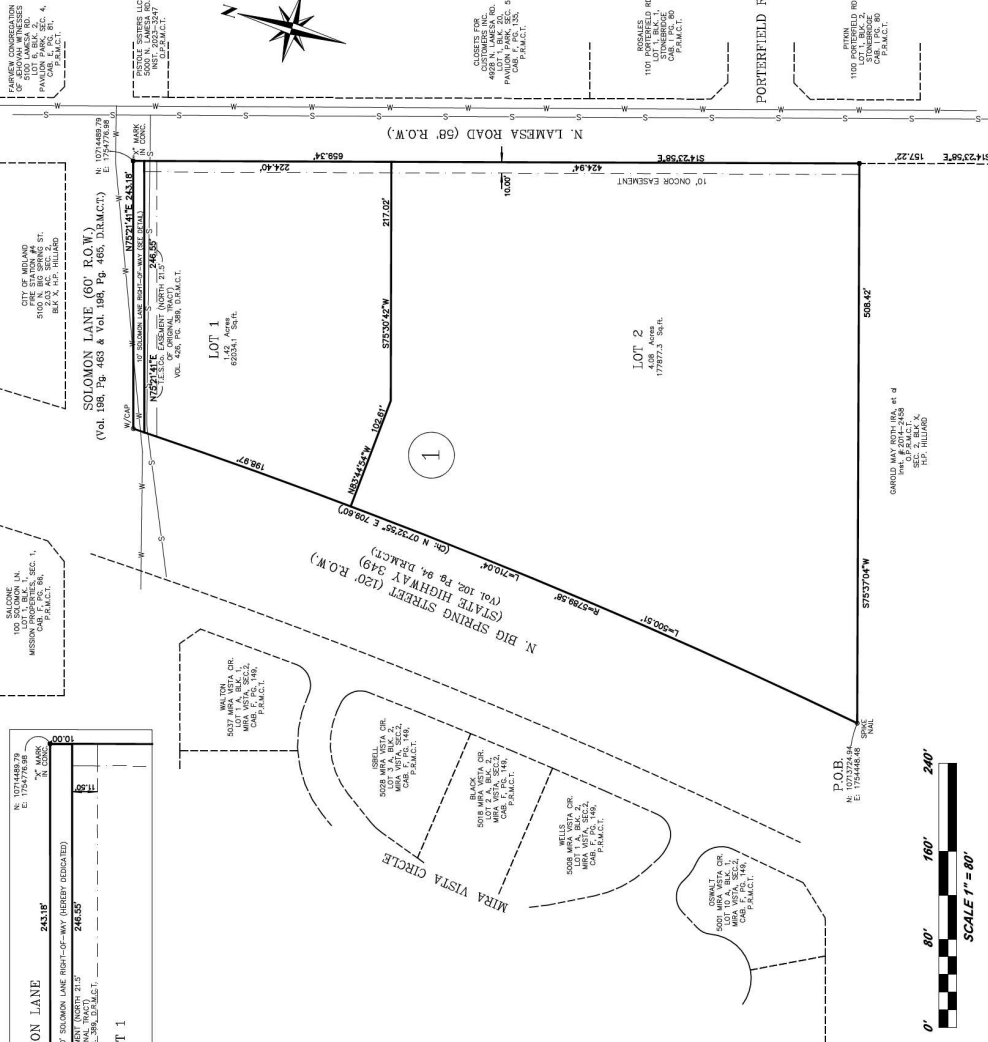
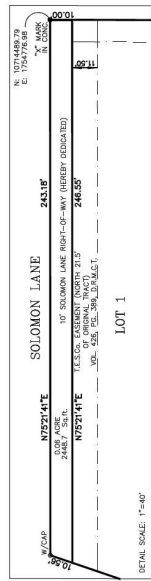


FINAL PLAT

KENT NORTH BIG SPRING ADDITION

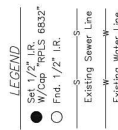
A PLAT OF 5.57 ACRES OUT OF SECTION 2, BLOCK X,
H.P. HILLIARD SURVEY,
CITY AND COUNTY OF MIDLAND, TEXAS
(0.06 ACRES DEDICATED TO SOLOMON LANE RIGHT-OF-WAY)

VICINITY MAP
(NOT TO SCALE)



NOTICE:

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE SUBJECT TO FINES AND WITHOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE BUILDING PERMIT MAY BE OBTAINED.
- COORDINATES, BEARINGS, DISTANCES AND AREAS SHOWN HEREON ARE LAMBERT GRID AND CONFORM TO THE "TEXAS COORDINATE SYSTEM", TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM 1983.
- WITH REFERENCE TO THE FEDERAL INSURANCE RATE MAP FOR MIDLAND COUNTY, MAP NO. 48329C0087F, EFFECTIVE DATE 08/14/05, THIS PROPERTY IS LOCATED IN ZONE "X"; THIS DETERMINATION IS BASED ON THE 0.2% DETERMINATION SHALL NOT CREATE A LIABILITY UPON SAID SURVEYOR.



UTILITY COMPANY'S CERTIFICATE
This plat has been checked for accessibility of utilities.

ATMOS ENERGY _____ Print Name _____

OPTIMUM _____ Print Name _____

AT&T-TEXAS _____ Print Name _____

ONCOR ELECTRIC DELIVERY _____ Print Name _____

ASTOUND _____ Print Name _____

INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE PERMITTING PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT WILL BE ASSESSED AT THAT TIME. THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT WILL INCREASE.

OWNER'S CERTIFICATE
THE STATE OF TEXAS
COUNTY OF MIDLAND

WHEREAS, KENT LUBRICATION CENTERS, LTD., is the record owner of 5.57 acres (being platted as Block X, Kent North Big Spring Addition, H.P. Hilliard Survey, City and County of Midland, Texas) and the record owner of 0.06 acres (being platted as Block X, Kent North Big Spring Addition, H.P. Hilliard Survey, City and County of Midland, Texas) as shown on the plat of record under instrument #2025-12598, Official Public Records of Midland County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That KENT LUBRICATION CENTERS, LTD., being the owner of the land shown on this plat designated as Block X, Kent North Big Spring Addition, H.P. Hilliard Survey, City and County of Midland, Texas, and the record owner of 0.06 acres (being platted as Block X, Kent North Big Spring Addition, H.P. Hilliard Survey, City and County of Midland, Texas) as shown on the plat of record under instrument #2025-12598, Official Public Records of Midland County, Texas, do hereby agree to sell the above described land to the City of Midland for public use, and do hereby give an easement of ingress and egress to the City of Midland for garbage and trash collection, and do hereby agree to sell the above described land to the City of Midland for public use, and do hereby give an easement of ingress and egress to the City of Midland for garbage and trash collection, and do hereby agree that no construction shall commence on said lot or lots until the exact location of said containers therewith have been selected and approved by the Director of Utilities.

WITNESS my hand at _____ this the _____ day of _____, 2026.

BY: ADAM STURMANT, Vice President, Strategic Planning and Development.

ACKNOWLEDGEMENT
THE STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day of _____, 2026, personally appeared _____, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he was acting as the authorized agent, and that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated. Given under my hand and seal of office this _____ day of _____, 2026.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, DURYN HENNINGTON, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this plat was prepared from an accurate and correct survey of the land and that the same is in accordance with the laws of the State of Texas, and that the same is in accordance with the Subdivision Regulations of the City of Midland, Texas.

DURYN HENNINGTON, 6515 L. 6532
2020 W. CUTHBERT, SUITE 4
MIDLAND, TEXAS
432-5704-0256

CERTIFICATE OF APPROVAL

For approval by the commissioner:

This is to certify that the above and foregoing plat of "KENT NORTH BIG SPRING ADDITION" was approved by proper action of the City Planning and Zoning Commission of the City of Midland, Texas on this _____ day of _____, 2026.

JOSHUA SPARKS, CHAIRMAN

LONDON OCHOA, SECRETARY

Being a description of a 5.57 acre tract of land out of Section 2, Block "X", H.P. Hilliard Survey, Midland County, Texas and being more particularly described by metes and bounds as follows:

BEGINNING at a spike nail found in the East Right-of-Way of North Big Spring Street (State Highway 349), for the Northwest corner of a 1.97 acre tract, as described in Instrument No. 2019-2425, Official Public Records of Midland County, Texas, the same being the Southwest corner of this 5.57 acre tract;

THENCE with the East Right-of-Way of said North Big Spring Street, 15.30 feet to the left, having a bearing of S 72°17'14" E, 710.00 feet to the North West corner of this 5.57 acre tract;

THENCE S 72°17'14" E, with the South Right-of-Way of said Solomon Lane, a distance of 243.18 feet to an "X" cut in concrete, in the South Right-of-Way of said Solomon Lane and said West Right-of-Way of North Lamesa Road, for the Northeast corner of this 5.57 acre tract;

THENCE S 142°25'41" E, with the West Right-of-Way of said North Lamesa Road, a distance of 142.22 feet to an "X" cut in concrete, in the West Right-of-Way of said North Lamesa Road, for the Northeast corner of said 1.97 acre tract, from which a 1 inch G.I.P. found for the same Southeast corner of said 1.97 acre tract, from which a 1 inch G.I.P. found for the same Southeast corner of said 1.97 acre tract bears S 142°58'16" E, a distance of 157.22 feet;

THENCE S 75°37'04" W, with the North line of said 1.97 acre tract, a distance of 508.42 to the POINT OF BEGINNING.

The North 10.00 feet of this tract being hereby dedicated to Solomon Lane Right-of-Way.

PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS

NO. _____ CABINET _____

DATE: _____ PAGE _____

OWNER:



PENNELL LAND SURVEYING, LLC

SURVEYING FIRM #: 10193978

2030 W. Cuthbert, Midland, Texas 79701

(432)570-6256, brucepennell@yahoo.com

MAY 2026

KENT NORTH BIG
SPRING ADDITION



Location Map

SUB-26-0963

Scale: 1" = 2,000'

Proposed plat of Kent North Big Spring Addition, being a plat of a 5.57-acre tract of land out of Section 2, Block X, H.P. Hilliard Survey, City and County of Midland, Texas.

Generally located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane. (Council District 1)

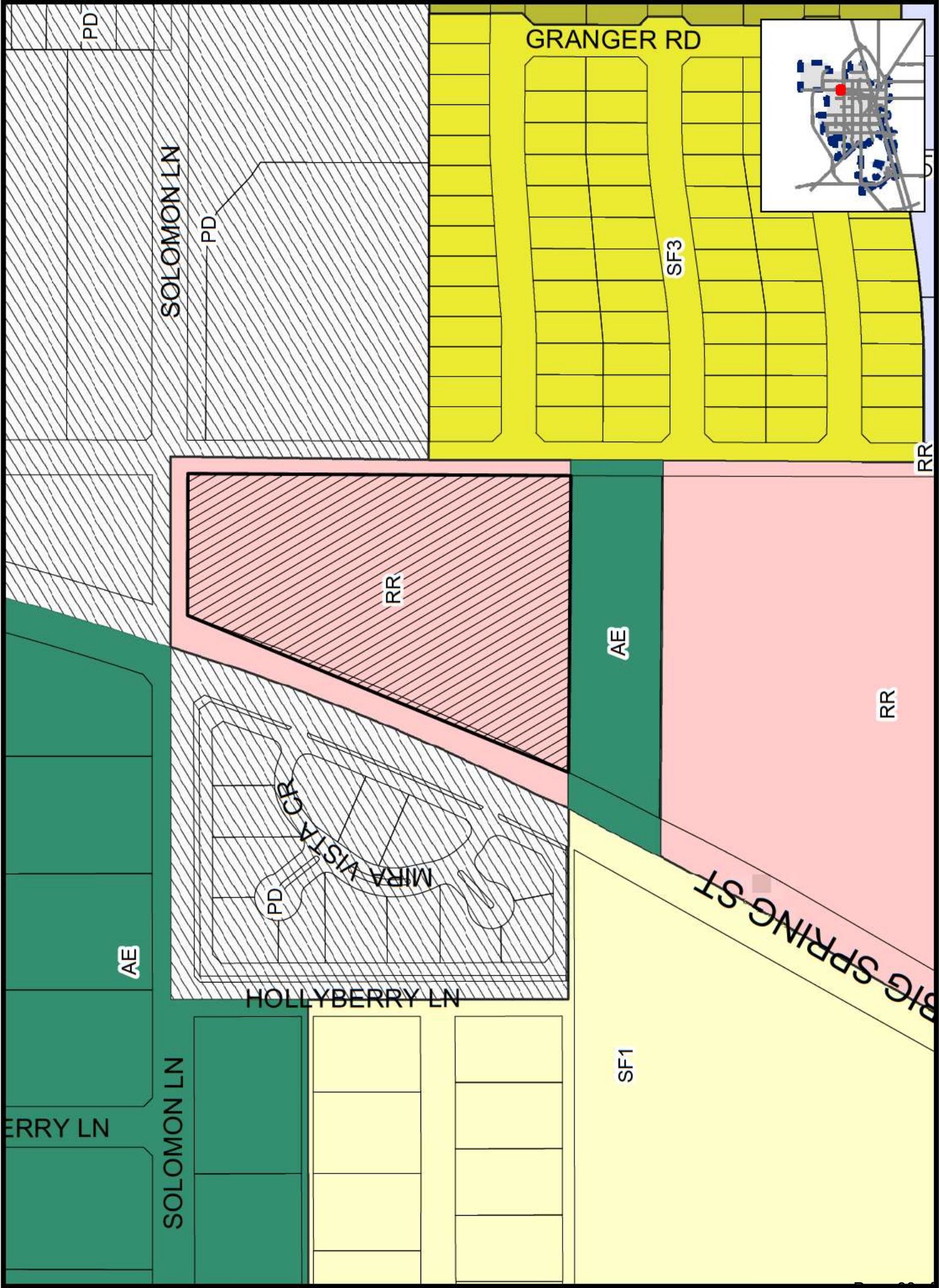
LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY PRODUCT NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND, 2024. THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY PROFESSIONAL'S WORK AS IT IS INTENDED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



ZONING MAP

Scale: 1" = 1,500'

SUB-26-0963

Map by LE, 4/13/2026







FINAL PLAT KENT NORTH BIG SPRING ADDITION

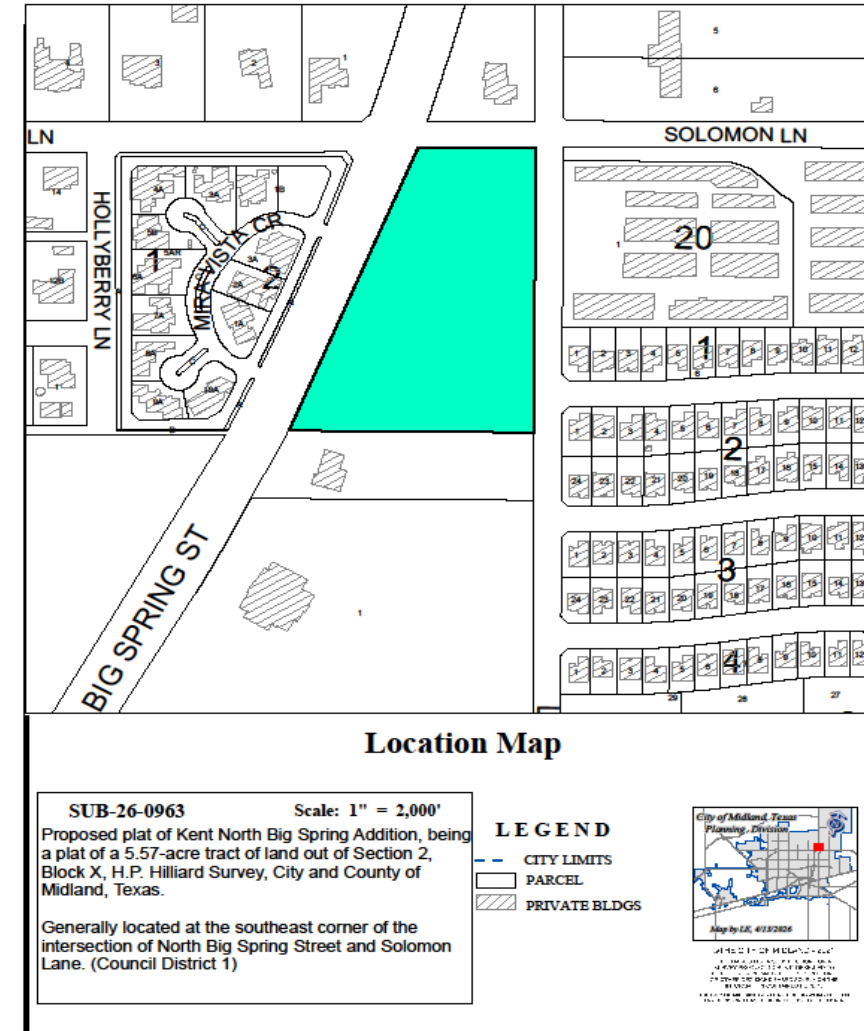


Visit Our Website

MIDLANDTEXAS.GOV

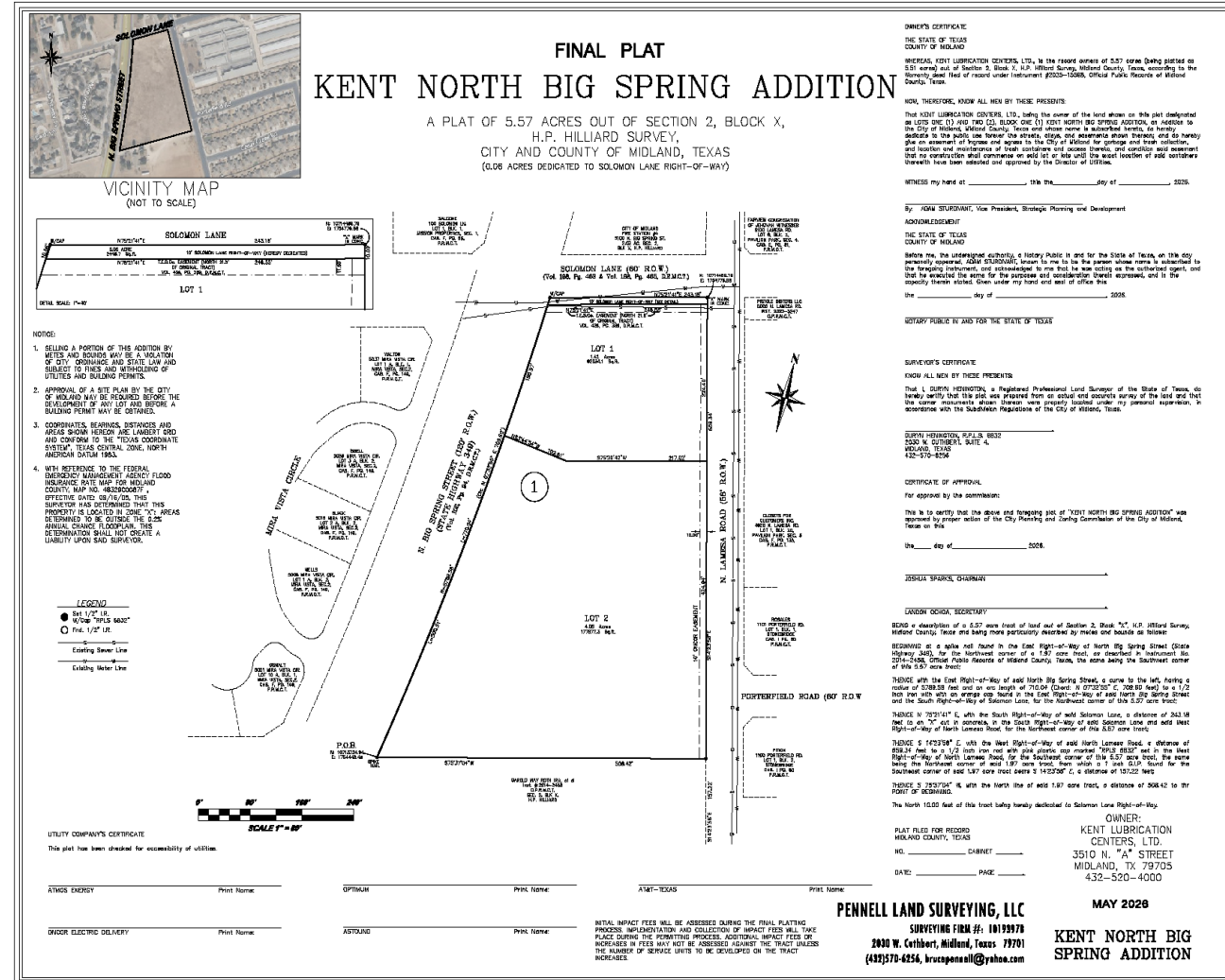
APPLICATION SUMMARY

- **Applicant:** Duryan Henington, with Pennell Surveying
- **Property Owner:** Kent Lubrication Centers, Ltd.
- **Representative:** Adam Sturdivant
- **Location:** Generally located at the southeast corner of the intersection of North Big Spring Street and Solomon Lane. (Council District 1)
- **Reason for Request:** platting for future retail development



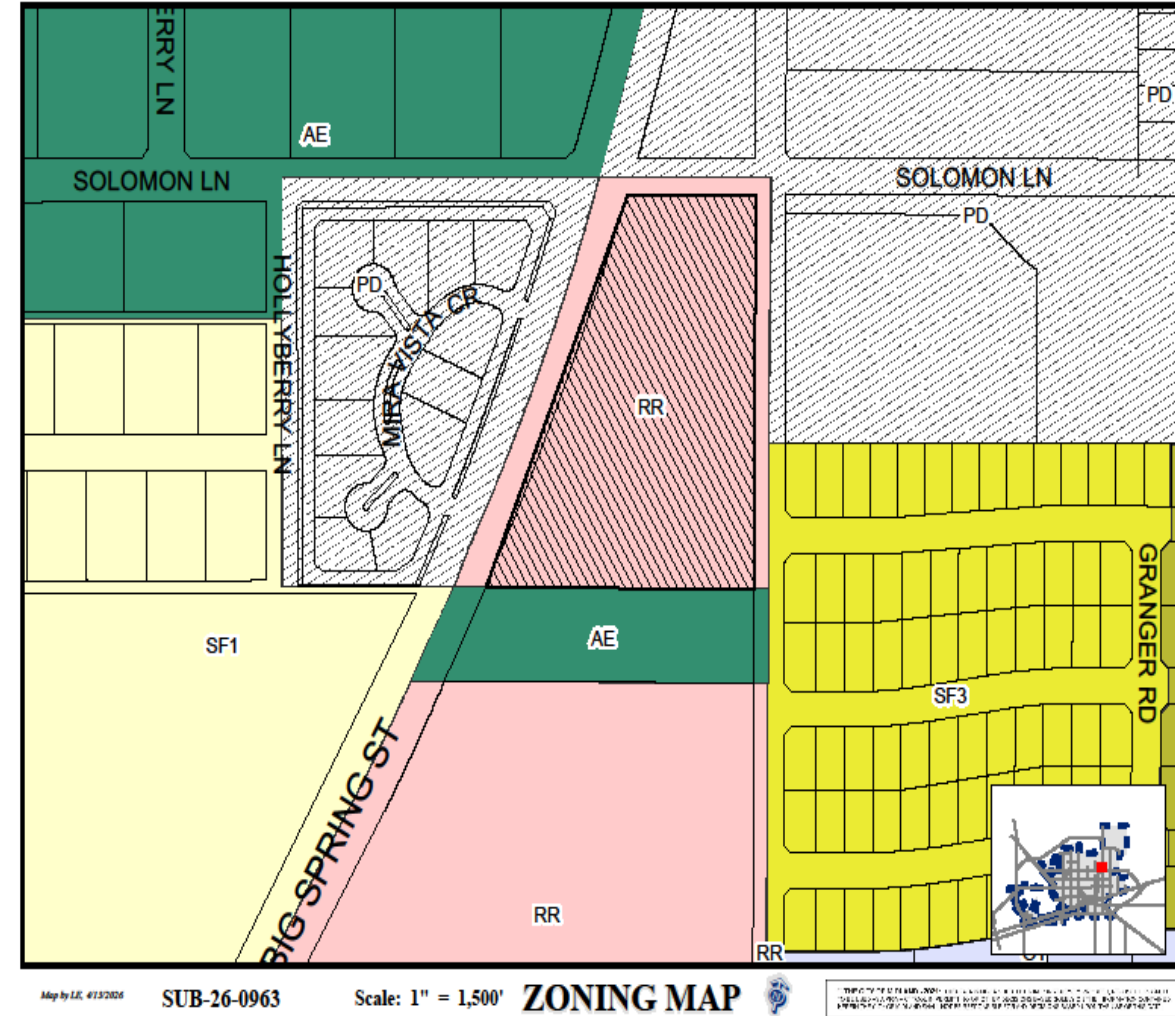
PLAT DETAILS

- Acreage: 5.57 acres
- Number of Existing Lots: 0
- Number Proposed Lots: 2



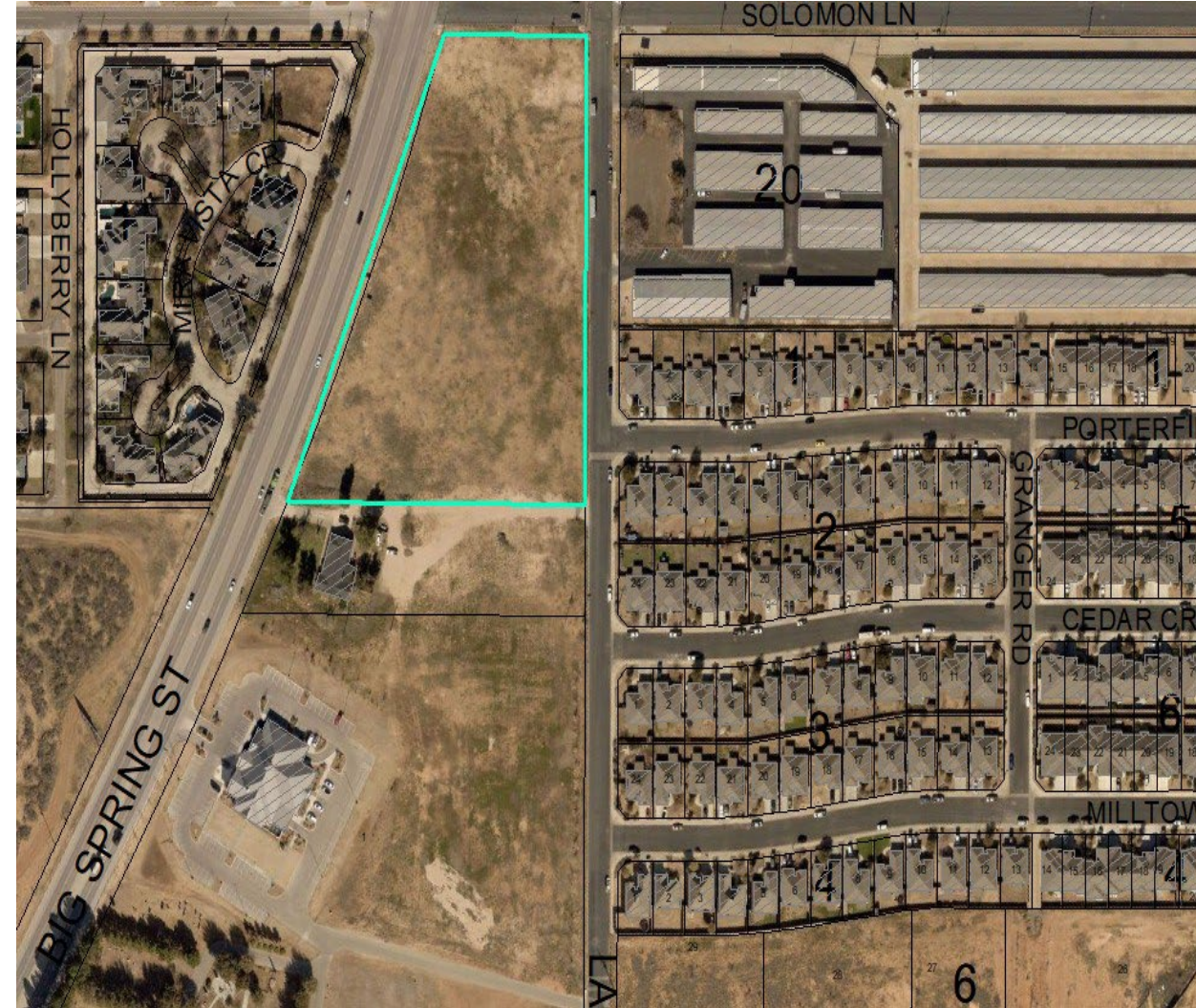
ZONING

- **Current Zoning:** RR, Regional Retail District
- **Surrounding Zoning:**
 - **North/East:** PD, Planned Development District for an Industrial District
 - **South:** AE, Agricultural Estate District
 - **West:** PD, Planned Development District for a Housing Development



LAND USE

- **Current Use:** Vacant Land
- **Surrounding Uses:**
 - **North:** Fire Station
 - **South:** Single-Family Residence
 - **East:** Self-Service Storage Facility
 - **West:** North Big Spring Street
- **Proposed Use:** Commercial Use

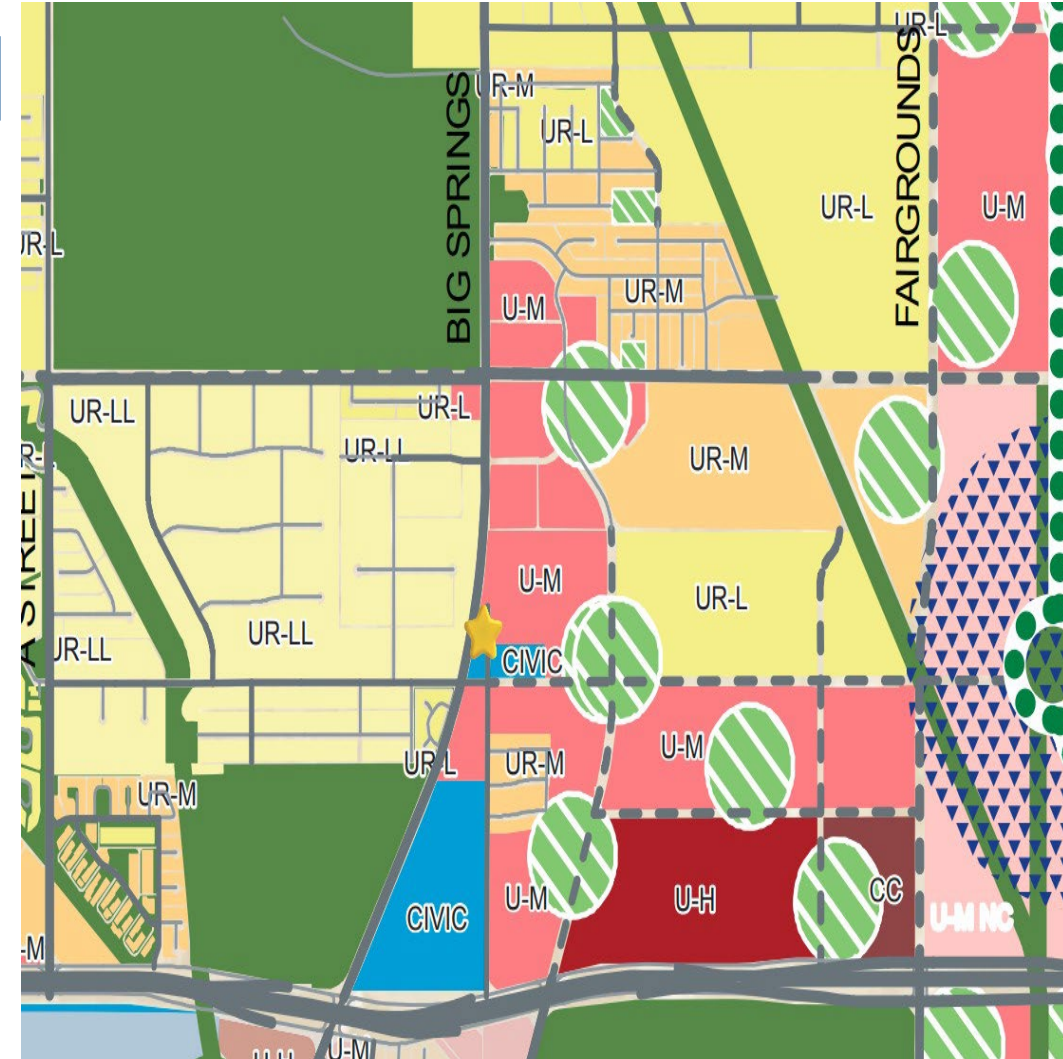




On Solomon Lane, Looking South

COMPREHENSIVE PLAN

- **Land Use Designation:** Urban Medium, (U-M)
- **Supported Uses:** A mix of complementary uses, including schools, commercial, and mixed use.



STAFF'S RECOMMENDATION

- The Preliminary Plat was approved by the Planning & Zoning Commission on May 4, 2026.
- Staff recommends approval of the Final Plat of Kent North Big Spring Addition.



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 5.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Angelina Bettanini, Planner II
Subject: Motion to review and consider the Declaration of Restrictive Covenants for the proposed Mockingbird Ridge subdivision, being a 632.196-acre tract of land located in Section 18, Block 38, T-1-S, A-734, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located at the northeast corner of the intersection North Fairgrounds Road and East Mockingbird Lane.)

Purpose:

The property owner, Betenbough Homes, LLC, is requesting approval of the attached amendment to the previously approved Declaration of Restrictive Covenants for the Mockingbird Ridge subdivision being a 632.196-acre tract of land located in Section 18, Block 38, T-1-S, A-734, T&P RY. CO. Survey, City and County of Midland, Texas.

Recommended Action:

Approve

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

The currently approved amended Mockingbird Ridge restrictive covenants were approved by the Planning and Zoning Commission on November 18, 2024. Betenbough is wanting to amend the covenants to address the responsibility for maintenance of amenity areas within the Right-of-Way in the Mockingbird Ridge subdivision. The HOA, Mockingbird Ridge of Midland Homeowners Association, Inc, will be responsible for all maintenance, repair, and replacement of all amenity spaces, improvements, and appurtenances located within any public or private right-of-way within the subdivision, unless otherwise expressly dedicated to and accepted for maintenance by a governmental entity.

Per Section 11-2-3(H)3(l), restrictive covenants must be approved by the Planning & Zoning Commission.

Attachments:

- A. Declaration of Covenants

B. P&Z - - Mockingbird Ridge Covenants

Angelina Bettanini, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/12/2026
Final Approval - 6/12/2026

2. Definition of Amenity Space. For purposes of this Section, “amenity space” shall include, but not be limited to, landscaping, community fencing, irrigation systems, signage, monuments, decorative features, lighting, hardscape improvements, trails, sidewalks (not otherwise maintained by a governmental authority), and any other improvements intended for aesthetic or recreational purposes within the right-of-way.

3. Scope of Maintenance. Maintenance by the Association shall include, at a minimum:

- i. Routine landscaping care, including mowing, trimming, edging, fertilization, and weed control;
- ii. Maintenance and repair of irrigation systems, including proper operation and water management;
- iii. Repair, replacement, and upkeep of signage, monuments, and decorative features;
- iv. Maintenance of lighting fixtures, including bulb replacement and electrical repairs;
- v. Repair and upkeep of hardscape elements such as sidewalks, trails, and decorative pavement (unless maintained by a governmental entity);
- vi. Removal of trash, debris, and other obstructions;
- vii. Replacement of dead or damaged plant materials; and
- viii. Any other actions reasonably necessary to keep the amenity space in a clean, safe, attractive, and functional condition consistent with Mockingbird Ridge’s community standards.

4. Standard of Care. All maintenance shall be performed in a manner consistent with applicable laws, ordinances, and regulations.

5. Enforcement. This obligation shall be deemed a continuing covenant running with the land and shall be enforceable by the Association, any applicable Declarant, and any governmental authority having jurisdiction, to the extent permitted by law.

Except as expressly amended herein, all other provisions of the Declaration shall remain in full force and effect. This Amendment shall be effective on the recordation of this Amendment in the office of the County Clerk of Midland County, Texas.

IN WITNESS WHEREOF, this Amendment has been executed as of the date written below.

DECLARANT:

Betenbough Homes LLC, a Texas corporation

By: _____

Name: _____

Title: _____

STATE OF TEXAS §
COUNTY OF MIDLAND §

This instrument was acknowledged before me on the _____ day of _____, 20_____, by _____, in the capacity stated therein, on behalf of Betenbough Homes LLC.

Notary Public, State of Texas

Approved by proper action of the City Planning and Zoning Commission of the City of Midland, Texas
on this ____ day of _____, 20 ____.

BY: _____

Name: _____
Chairman, Planning and Zoning Commission

EXHIBIT "A"

**SECTION 18, BLOCK 38, TOWNSHIP 1 SOUTH,
TEXAS and PACIFIC RAILWAY COMPANY SURVEY
MIDLAND COUNTY, TEXAS.**

FIELD NOTE DESCRIPTION OF A 632.196 ACRE TRACT OF LAND, BEING ALL OF SECTION 18, BLOCK 38, TOWNSHIP 1 SOUTH, ABSTRACT NUMBER 734, GLO FILE NUMBER 66103, TEXAS and PACIFIC RAILWAY COMPANY SURVEY, MIDLAND COUNTY. TEXAS, AND BEING THAT SAME TRACT CALLED FOR IN DOCUMENT NUMBER 2018-20726 OF THE OFFICIAL PUBLIC RECORDS OF SAID MIDLAND COUNTY, LESS AND EXCEPT A CALLED 22.96 ACRE TRACT DESCRIBED IN DOCUMENT NUMBER 2019-3532 OF SAID PUBLIC RECORDS, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;

COMMENCING AT N.(Y):10723497.68, E.(X):1757937.87, A ONE HALF INCH IRON ROD FOUND AT A FENCE CORNER AND ACCEPTED AS BEING IN THE POSITION OF THE PATENTED IRON PIPE AT THE COMMON WEST CORNER OF SAID SECTION 18, AND SECTION 7 OF THE SAME BLOCK, BEING THE SOUTHWEST CORNER OF A CALLED 354.08 ACRE TRACT RECORDED IN A GENERAL WARRANTY DEED AS DOCUMENT NUMBER 2017-36824, OF SAID OFFICIAL PUBLIC RECORDS, FROM WHICH A COPPERWELD ROD WITH CAP BEARS N.14°33'25"W., 150.38 FEET, **THENCE** N.75°19'52"E., ALONG THE COMMON LINE OF SAID SECTIONS 7 AND 18, 156.42 FEET TO N.(Y):10723537.29, E.(X):1758089.19, A ONE HALF INCH IRON ROD WITH A PLASTIC CAP MARKED "ASB 5689", FOUND AT THE NORTHEAST CORNER OF SAID CALLED 22.96 ACRE TRACT FOR THE **POINT OF BEGINNING** AND BEING THE NORTHWEST CORNER HEREOF;

THENCE N.75°19'52"E., ALONG THE COMMON LINE OF SAID SECTIONS 7 AND 18, AT 5147.48 FEET PASSING A FIVE EIGHTHS INCH IRON ROD THAT HAS BEEN LONG ACCEPTED AS THE SOUTHEAST CORNER OF SAID SECTION 7, BEING THE SOUTHWEST CORNER OF SECTION 8, SAME BLOCK, AND A CALLED 346.472 ACRE TRACT RECORDED IN A WARRANTY DEED IN VOLUME 816 ON PAGE 349 OF THE DEED RECORDS OF SAID MIDLAND COUNTY, FROM WHICH A ONE HALF INCH IRON ROD SET FOR THE SOUTHEAST CORNER OF SAID 354.08 ACRE TRACT, BEARS S.14°28'20"E., 17.88 FEET, A FIVE EIGHTHS INCH IRON ROD BEARS S.19°27'55"W., 29.07 FEET, IN ALL 5207.77 FEET TO A ONE HALF INCH IRON PIPE AS THE LONG ACCEPTED NORTHWEST CORNER OF SECTION 17, SAME BLOCK, BEING THE NORTHWEST CORNER OF A CALLED 63.94 ACRE TRACT RECORDED IN A WARRANTY DEED AS DOCUMENT 2018-14217, IN SAID OFFICIAL PUBLIC RECORDS, FROM WHICH A ONE HALF INCH IRON ROD BEARS S.22°57'38"E., 24.14 FEET ANOTHER BEARS S.17°55'43"E., 31.21 FEET, FOR THE NORTHEAST CORNER HEREOF;

THENCE S.14°30'16"E., ALONG THE COMMON LINE OF SAID SECTIONS 17 AND 18, AT 525.30 PASSING TWO BENT ONE HALF INCH IRON RODS NEAR THE COMMON WEST CORNER FOR SAID 63.94 ACRE TRACT AND A CALLED 91.8 ACRE TRACT RECORDED IN A WARRANTY DEED AS DOCUMENT NUMBER 2013-9865, IN SAID OFFICIAL PUBLIC RECORDS, AT 1580.17 FEET PASSING A ONE HALF INCH IRON ROD, AT 2049.12 FEET PASSING A ONE HALF INCH IRON ROD, AT 2109.24 FEET PASSING A THREE QUARTER

INCH IRON PIPE NEAR THE COMMON WEST CORNER OF SAID 63.94 ACRE TRACT AND A CALLED 316.39 ARE TRACT RECORDED IN DOCUMENT NUMBER 2011-8666, OF SAID OFFICIAL PUBLIC RECORDS, AT 4069.77 FEET PASSING A ONE HALF INCH IRON ROD FOR THE NORTHWEST CORNER OF A CALLED 22.368 ACRE TRACT IN DOCUMENT NUMBER 2014-5886 OF SAID OFFICIAL PUBLIC RECORDS, BEARING S.75°32'01"W., 15.87 FEET, AT 5303.89 FEET PASSING A 6 INCH STEEL FENCE POST FOR THE NORTHWEST CORNER OF A CALLED 244.4 ACRE TRACT AS CALLED IN DOCUMENT NUMBER 2017-34694, OF SAID OFFICIAL PUBLIC RECORDS, BEARING S.75°29'44"W., 33.47 FEET, IN ALL 5332.97 FEET TO A FIVE EIGHTHS INCH IRON ROD FOUND IN THE NORTH LINE OF SECTION 20, SAME BLOCK, FOR THE SOUTH COMMON CORNER OF SAID SECTIONS 17 AND 18 FOR THE SOUTHEAST CORNER HEREOF;

THENCE S.75°43'57"W., ALONG THE LINE COMMON TO SAID SECTIONS 20 AND 18, AT 75.80 FEET PASSING NEAR A ONE HALF INCH IRON ROD AT OR NEAR THE NORTH COMMON CORNER OF SAID SECTION 20 AND SECTION 19, SAME BLOCK, CONTINUING ALONG SAID COMMON LINE, AT 572.95 FEET PASSING NEAR A ONE HALF INCH IRON ROD AT THE NORTH COMMON CORNER OF TRACTS 2 AND 3 AS DESCRIBED IN DOCUMENT NUMBER 2018-20726, OF SAID OFFICIAL PUBLIC RECORDS, AT 1981.61 FEET PASSING A ONE HALF INCH IRON ROD AT THE NORTH COMMON CORNER OF SAID TRACT 2 AND A CALLED "TRACT 3" IN DOCUMENT NUMBER 2018-2268, OF SAID OFFICIAL PUBLIC RECORDS, AT 3801.97 FEET PASSING A COPPERWELD ROD WITH CAP AT THE NORTHWEST CORNER OF SAID TRACT 3, BEING THE NORTHEAST CORNER OF A TRACT CALLED 12.3 ACRES IN VOLUME 867 ON PAGE 35 OF THE DEED RECORDS OF SAID MIDLAND COUNTY, AT 3951.98 FEET PASSING A COPPERWELD ROD WITH CAP AT THE NORTHWEST CORNER OF SAID CALLED 12.3 ACRE TRACT, BEING THE NORTHEAST CORNER OF A CALLED TRACT 1, IN SAID DOCUMENT NUMBER 2018-2268, IN ALL 4984.62 FEET TO A ONE HALF INCH IRON ROD WITH A RED PLASTIC CAP MARKED "MAVERICK FIRM#10194514" SET AT THE SOUTHEAST CORNER OF SAID CALLED 22.96 ACRE TRACT, FROM WHICH A ONE HALF INCH IRON ROD WITH A GREEN PLASTIC CAP MARKED "ASB 5689" BEARS S.75°43'57"W., 388.28 FEET AND A ONE HALF INCH IRON ROD WITH A RED PLASTIC CAP MARKED "PSC RPLS 6453" BEARS S.75°08'25"W., 392.12, FOR THE SOUTHWEST CORNER HEREOF;

THENCE THE FOLLOWING NINE COURSES AND DISTANCES ALONG THE EAST LINE OF SAID CALLED 22.96 ACRE TRACT FOR THE WEST LINE HEREOF;

1. N.14°23'29"W., 60.57 FEET TO A POINT;
2. N.58°53'33"W., 71.33 FEET TO A POINT;
3. N.14°23'29"W., 82.07 FEET TO THE POINT OF CURVATURE FOR A CURVE TO THE LEFT;
4. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A RADIUS OF 1490.00 FEET WITH A CHORD BEARING AND DISTANCE OF N.22°49'41"W., 436.87 FEET, AN ARC DISTANCE OF 438.35 FEET TO THE POINT OF REVERSE CURVATURE;
5. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1360.00 FEET WITH A CHORD BEARING AND DISTANCE OF N.22°49'41"W., 398.75 FEET, AN ARC DISTANCE OF 400.19 FEET TO A MAG NAIL FOUND THE POINT OF TANGENCY;

6. N.14°23'29"W., 99.99 FEET TO A MAG NAIL FOUND AT THE POINT OF CURVATURE FOR A CURVE TO THE LEFT;
7. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A RADIUS OF 1500.00 FEET WITH A CHORD BEARING AND DISTANCE OF N.20°18'24"W., 308.82 FEET, AN ARC DISTANCE OF 309.37 FEET TO A MAG NAIL FOUND AT THE POINT OF REVERSE CURVATURE;
8. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A RADIUS OF 1350.00 FEET WITH A CHORD BEARING AND DISTANCE OF N.20°18'24"W., 277.95 FEET, AN ARC DISTANCE OF 278.44 FEET TO A MAG NAIL FOUND THE POINT OF TANGENCY;
9. N.14°24'01" W., 3593.25 FEET TO THE **POINT OF BEGINNING**, CONTAINING 632.196 ACRES OF LAND.



MOCKINGBIRD RIDGE DECLARATION OF RESTRICTIVE COVENANTS

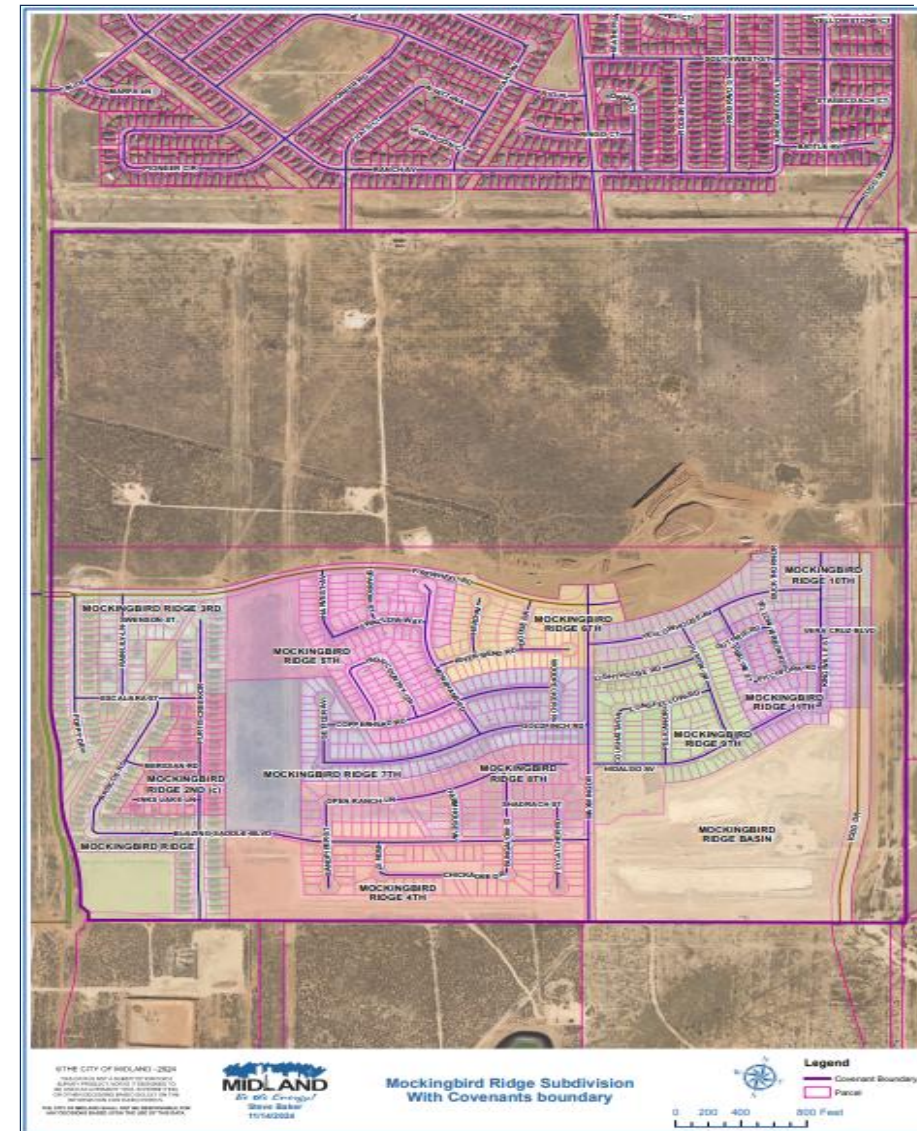


Visit Our Website

MIDLANDTEXAS.GOV

APPLICATION SUMMARY

- **Property Owner & Developer:**
Betenbough Homes, LLC
- **Application Type:** Declaration of Restrictive Covenants
- **Address:** Generally located northeast of the intersection of East Mockingbird Lane and North Fairgrounds Road (District 1)



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 6.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Motion approving a Final Plat of Claydesta Plaza North, Section 8, being a replat of Lot 8, and the north 0.286 acres of Lot 7, Block 2, Claydesta Plaza North, Section 6, City and County of Midland, Texas. (Generally located at the southwest corner of the intersection of Sharp Lane and North Big Spring Street)

Purpose:

Maverick Engineering, on behalf of Midland Northtown Development, LLC, is requesting to replat a property located on the south side of Sharp Lane into one lot in order to develop a quick serve restaurant.

Recommended Action:

Approve

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

RR, Regional Retail District, and PD, Planned Development District for Office Center

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificate from the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Engineering: (Approved)

IMPACT FEES: Okay as shown. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.]

PAVING: Deferral of the timing of required paving improvements for Sharp Lane was administratively approved on 6/2/2026. Big Spring Frontage road is TxDOT facility, built and maintained by TxDOT, no improvements required on TxDOT ROW excluding driveways and curb cuts. [For Applicant's Information Only.]

WATER: 8" water exists in Big Spring Street, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 8" sewer exists in alley west of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Drainage letter has been approved for platting purposes. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

Transportation: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

Fire: (Approved)

The Fire Department has reviewed the final plat and has no objection to approval. This approval is limited to platting only and does not constitute approval of fire code compliance or guarantee of adequate fire protection infrastructure. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903). Compliance will be verified during the civil plan review and building permit submittal.

Oil and Gas: (Approved)

ALL Comments satisfied 6/3/26

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

GIS: (Approved)

No comments.

CRMWD: (Approved)

We do not have any comments on this plat.

Addressing: (Approved)

No comments

Health: (Approved)

The lot is close to a public sewer line, no need for a septic system.

Planning: (Approved)

Staff recommends approval of the Final Plat of Claydesta Plaza North, Section 8.

Attachments:

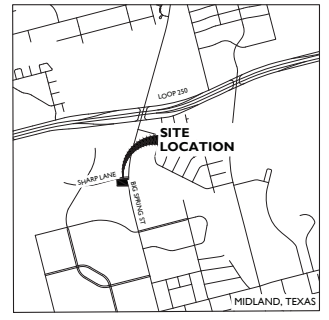
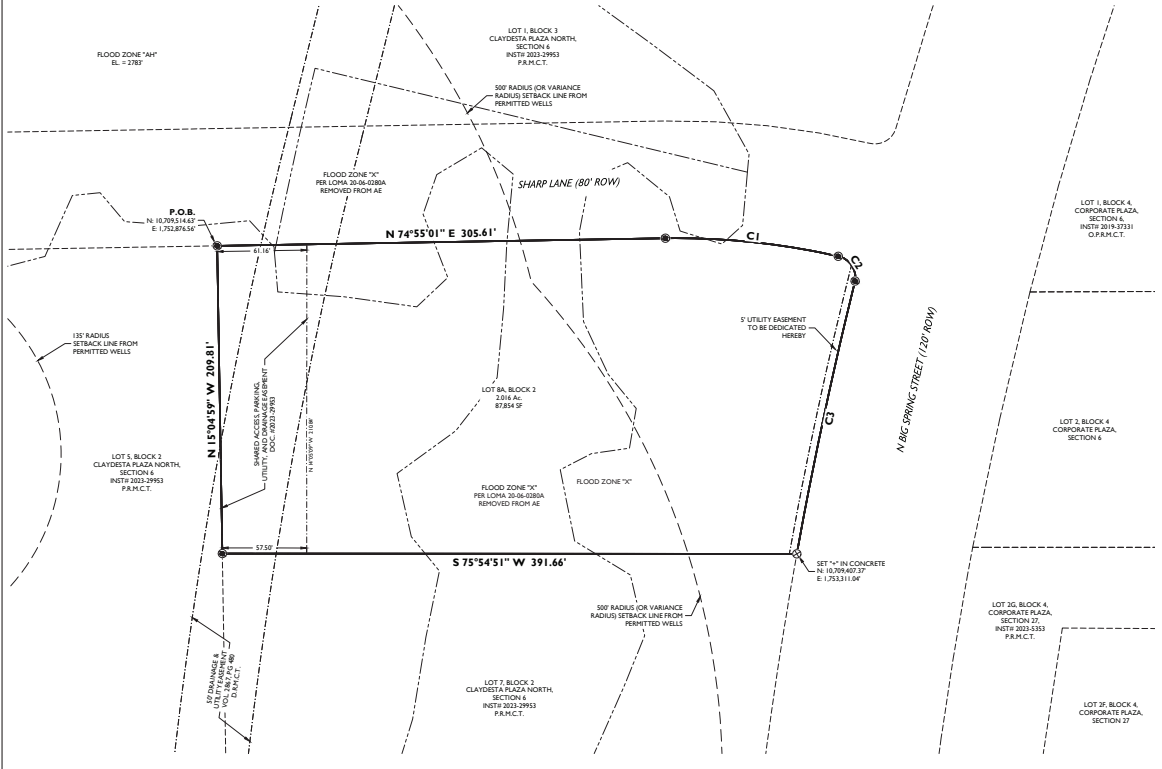
- A. P-26-2552, Combined files
- B. P&Z- - Claydesta Plaza North, Section 8 (Final)

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/4/2026
Final Approval - 6/12/2026

CLAYDESTA PLAZA NORTH, SECTION 8

BEING A REPLAT OF LOT 8, AND THE NORTH 0.286 ACRES OF LOT 7, BLOCK 2,
CLAYDESTA PLAZA NORTH, SECTION 6,
CITY AND COUNTY OF MIDLAND, TEXAS



VICINITY MAP
N.T.S.



LEGEND

- SET 12" IRON ROD WITH RED CAP MARKED "MAVERICK FIRM # 101461"
- ⊗ SET "X" IN CONCRETE
- BOUNDARY LINE
- - - - - PROPERTY LINE
- - - - - EASEMENT LINE
- - - - - FLOOD PLAIN
- - - - - WELL SETBACK RADII
- P.O.B.C.T.
- P.R.M.C.T.
- D.R.M.C.T.
- OFFICIAL PUBLIC RECORDS: MIDLAND CO., TX
- PLAT RECORDS: MIDLAND CO., TX
- DEED RECORDS: MIDLAND CO., TX

OWNER'S CERTIFICATE

THE STATE OF TEXAS
COUNTY OF MIDLAND,
WHEREAS MIDLAND NORTH TOWN DEVELOPMENT LLC IS THE RECORD OWNER OF A TRACT OF LAND SITUATED IN SECTION 14, BLOCK 39, T-1-S, T&P, R.F. CO. SURVEY, CITY AND COUNTY OF MIDLAND, TEXAS;
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS
THAT MIDLAND NORTH TOWN DEVELOPMENT LLC DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREBY DESCRIBED PROPERTY AS CLAYDESTA PLAZA NORTH, SECTION 8, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS SHOWN THEREON.
WITNESS MY HAND AT MIDLAND, TEXAS THIS _____ DAY OF _____ 2024
BY: MITCH MALDOF FOR MIDLAND NORTH TOWN DEVELOPMENT LLC

ACKNOWLEDGEMENT

THE STATE OF TEXAS
COUNTY OF MIDLAND
THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 2024
BY _____
NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS
THAT I, GREGORY W. SHOULTS, A REGISTERED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY LOCATED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MIDLAND, TEXAS.
Gregory W. Shoultz
GREGORY W. SHOULTS, REGISTERED PROFESSIONAL LAND SURVEYOR
MAVERICK ENGINEERING (TX FIRM #10194514)
1305 WEST BROADWAY AVENUE
MIDLAND, TX 79701



CERTIFICATE OF APPROVAL

FOR APPROVAL BY COMMISSION
THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF CLAYDESTA PLAZA NORTH, SECTION 8, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, TEXAS ON THIS _____ DAY OF _____ 2024.
JOSHEL SPERRY, CHAIRMAN
LONDON OCHKA, SECRETARY

UTILITY COMPANY'S CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES:
Mark Lind
ATKINS ENERGY
BY: Mark Lind
DATE: _____
BY: Jerry Underwood
DATE: _____
BY: Luis Montez
DATE: _____
LUCIA POSEK
AROUND BROADBAND
BY: VICKI BYLER

PROPERTY OWNER
MIDLAND NORTH TOWN DEVELOPMENT LLC
6 DEKA DR. #122
MIDLAND, TX 79701
DEED INSTRUMENT #2021-20960 AND
2007-18845
PHONE # (432) 688-3008

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	118.78	496.62	118.49'	N 81° 50' 53" E	17° 52' 17"
C2	22.44	15.00'	20.40'	S 48° 21' 43" E	85° 42' 30"
C3	190.19'	252.479'	190.15'	S 02° 03' 54" E	3° 43' 37"

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO FEMA'S NFIP FLOOD INSURANCE RATE MAP #48329C0087, DATED SEPTEMBER 14, 2015, A PORTION OF THE PROPERTY IS WITHIN THE UNDESIGNED PORTION OF ZONE "X", DESIGNATED AS "AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN" A PORTION OF THIS PROPERTY IS WITHIN ZONE "X" DESIGNATED AS "AREA WITH A 1% ANNUAL CHANCE OF SHALLOW FLOODING, USUALLY IN THE FORM OF A POND, WITH AN AVERAGE DEPTH RANGING FROM 1 TO 3 FEET." THESE AREAS HAVE A 24% CHANCE OF FLOODING OVER THE LIFE OF A 30-YEAR MORTGAGE. BASE FLOOD ELEVATIONS DERIVED FROM DETAILED ANALYSES ARE SHOWN AT SELECTED INTERVALS WITHIN THESE ZONES. THIS AREA HAS A BASE FLOOD ELEVATION OF 2.783 FEET.
THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF MAVERICK CIVIL & SURVEY, LLC.

SURVEY NOTES

- BASES OF BEARING, COORDINATES, DISTANCE AND ACREAGE ARE A LAMBERT CONICAL PROJECTION OF THE TEXAS COORDINATE SYSTEM, STATE PLANE GRID, LEVING ZONE AND 83 U.S. SURVEY FOOT WITH A CONVERGENCE ANGLE (BASIC) OF -0° 54' 44.40" AND A COMBINED SCALE FACTOR OF 0.999989111 AT 400' (MIDLAND).
- 12" IRON ROD WITH RED PLASTIC CAP MARKED "MAVERICK FIRM # 10194514" AT ALL SET CORNERS, UNLESS OTHERWISE SPECIFIED.
- SEE DOCUMENTS OR ELECTRONIC DATA FILED IN THE OFFICE OF MAVERICK ENGINEERING FOR COMPLETE RECONSTRUCTION OF THIS SURVEY.

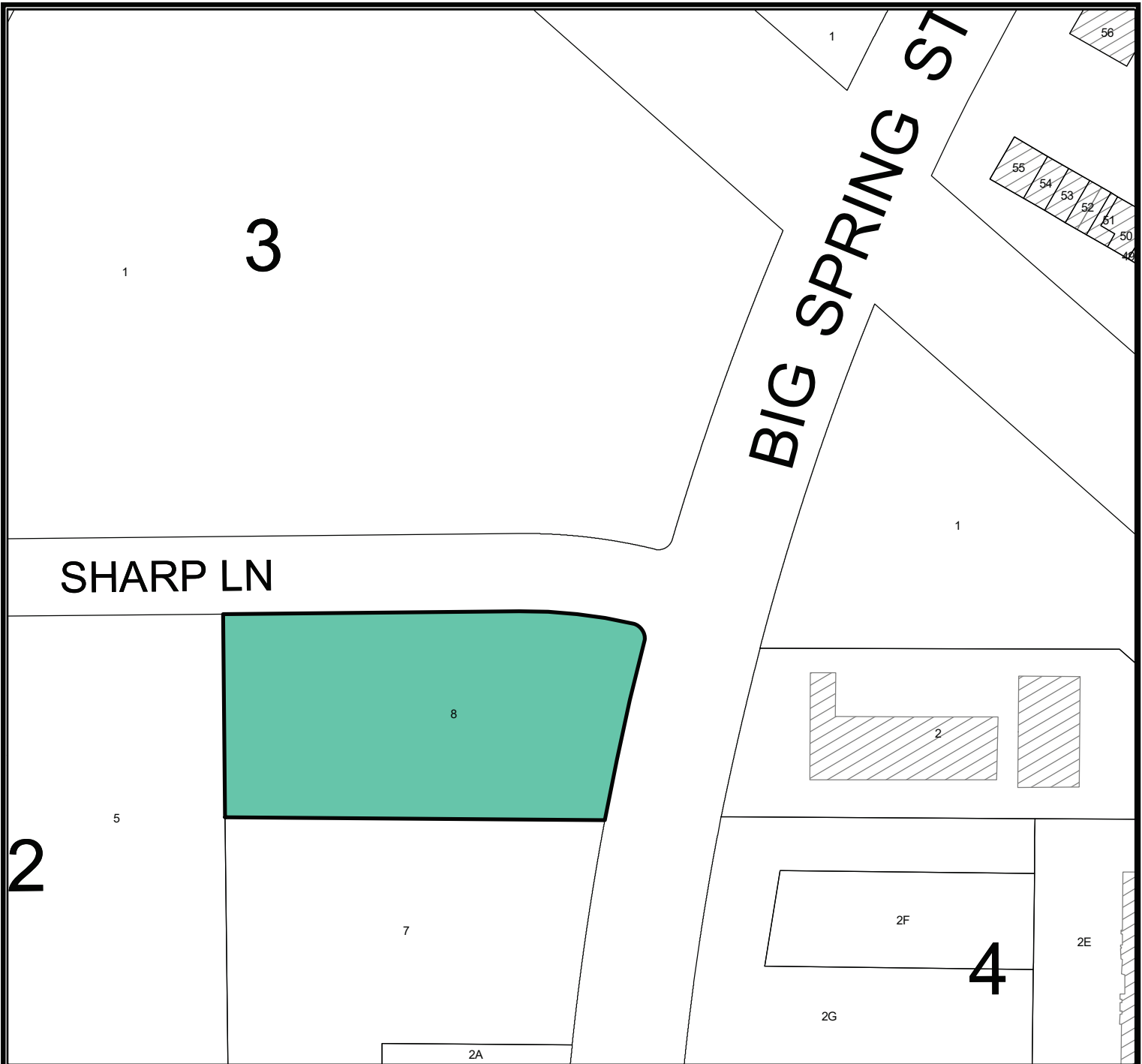
DEVELOPMENT NOTES

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- THE INSTALLATION OF IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS:
 - THE REPRESENTED LOT IS REVERTED FOR SUBDIVISION INTO MORE THAN ONE LOT OR;
 - THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
- IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASED.
- LOT 8A BLOCK 3, HEREON TO OBSERVE THE JOINT ACCESS, CROSS ACCESS, AND PARKING EASEMENT AS DEDICATED BETWEEN LOTS 2A & 2B, BLOCK 14, CLAYDESTA PLAZA, SECTION 14, AS FILED IN GABRIEL T. MAGE THE P.M.C.T.
- ANY OCCUPIED RESIDENCE OR COMMERCIAL BUILDING WITHIN THE 500' RADIUS WOULD REQUIRE A VARIANCE FROM CITY COUNCIL FOR A BUILDING PERMIT. NO OCCUPIED RESIDENCE OR COMMERCIAL BUILDINGS ARE ALLOWED WITHIN THE 125' WELL RADII.

MAVERICK
CIVIL ENGINEERING & LAND SURVEYING
1300 West Illinois Avenue,
Midland, Texas 79701
ENGINEER FIRM # F-15089
SURVEY FIRM # 10194514
Tel: (432) 262-0999 Fax: (432) 262-0989
www.Maverick-Eng.com

CLAYDESTA PLAZA NORTH, SECTION 8

Drawing: F20231010-CLAYDESTA BIG SPRING CHECK PLAT DRAWING (PLAT FINAL PLAT 2023) FINAL PLAT.DWG. Last Used By: SShaw on 5/23/24



Location Map

SUB-26-0944

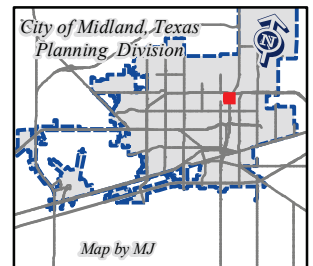
Scale: 1" = 149'

Proposed plat of Claydesta Plaza North, Section 8, being a replat of Lot 8, and the north 0.286 acres of Lot 7, Block 2, Claydesta Plaza North, Section 6, City and County of Midland, Texas.

Generally located at the southwest corner of the intersection of Sharp Lane and North Big Spring Street. (Council District 3)

LEGEND

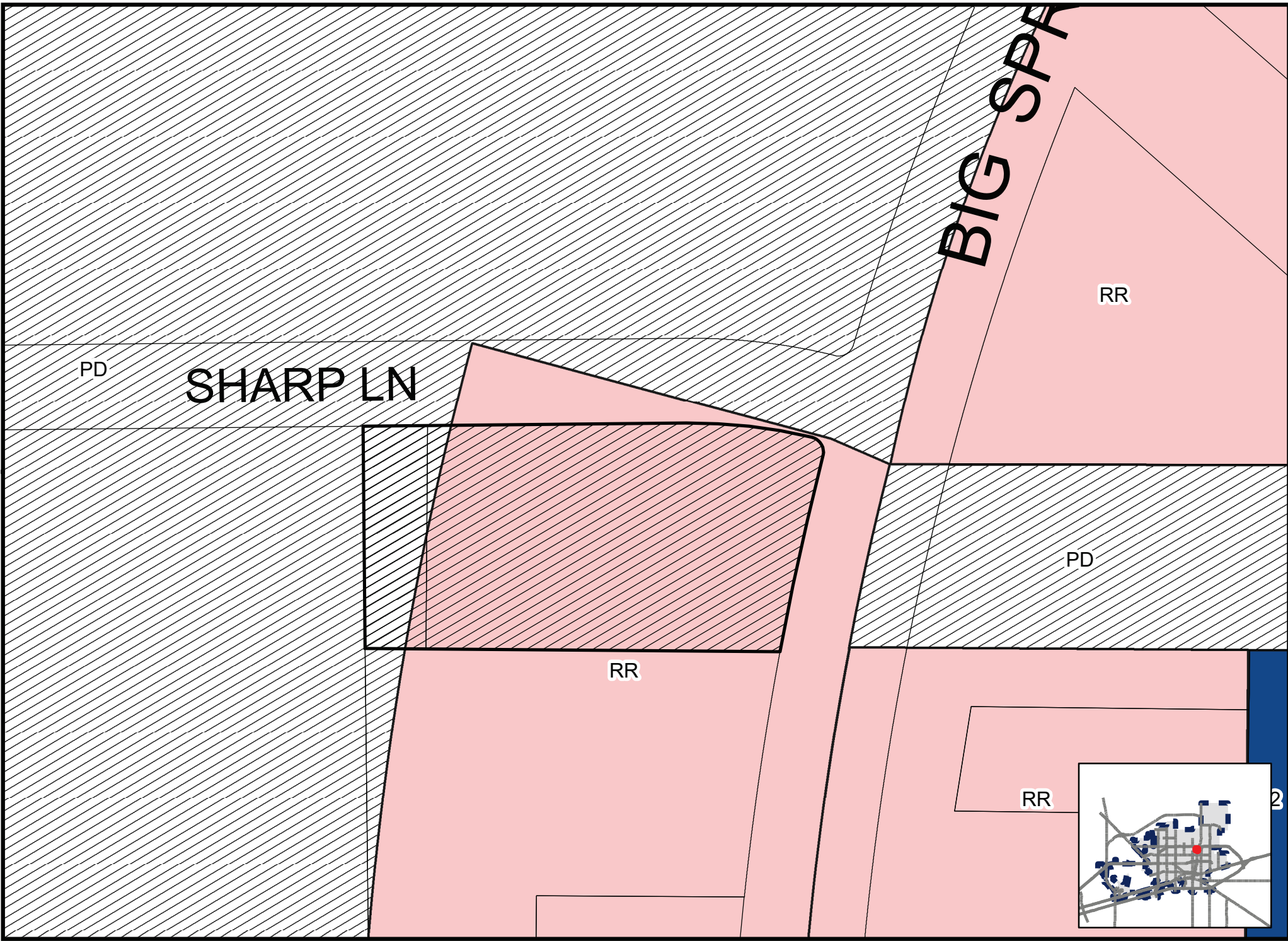
- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



PD

SHARP LN

BIG SPRING

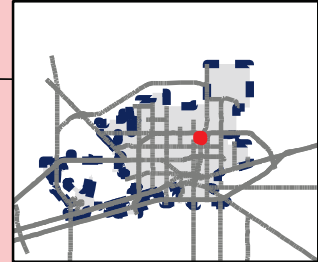
RR

PD

RR

RR

2







FINAL PLAT CLAYDESTA PLAZA NORTH, SECTION 8

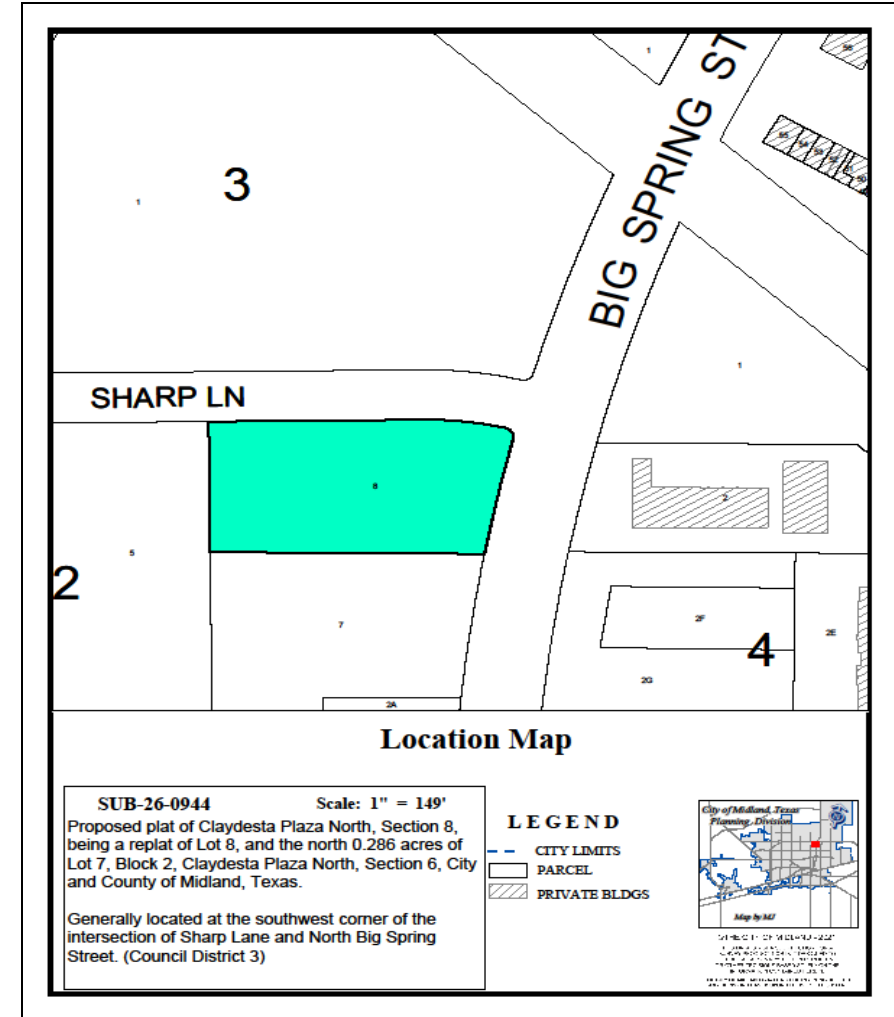


Visit Our Website

MIDLANDTEXAS.GOV

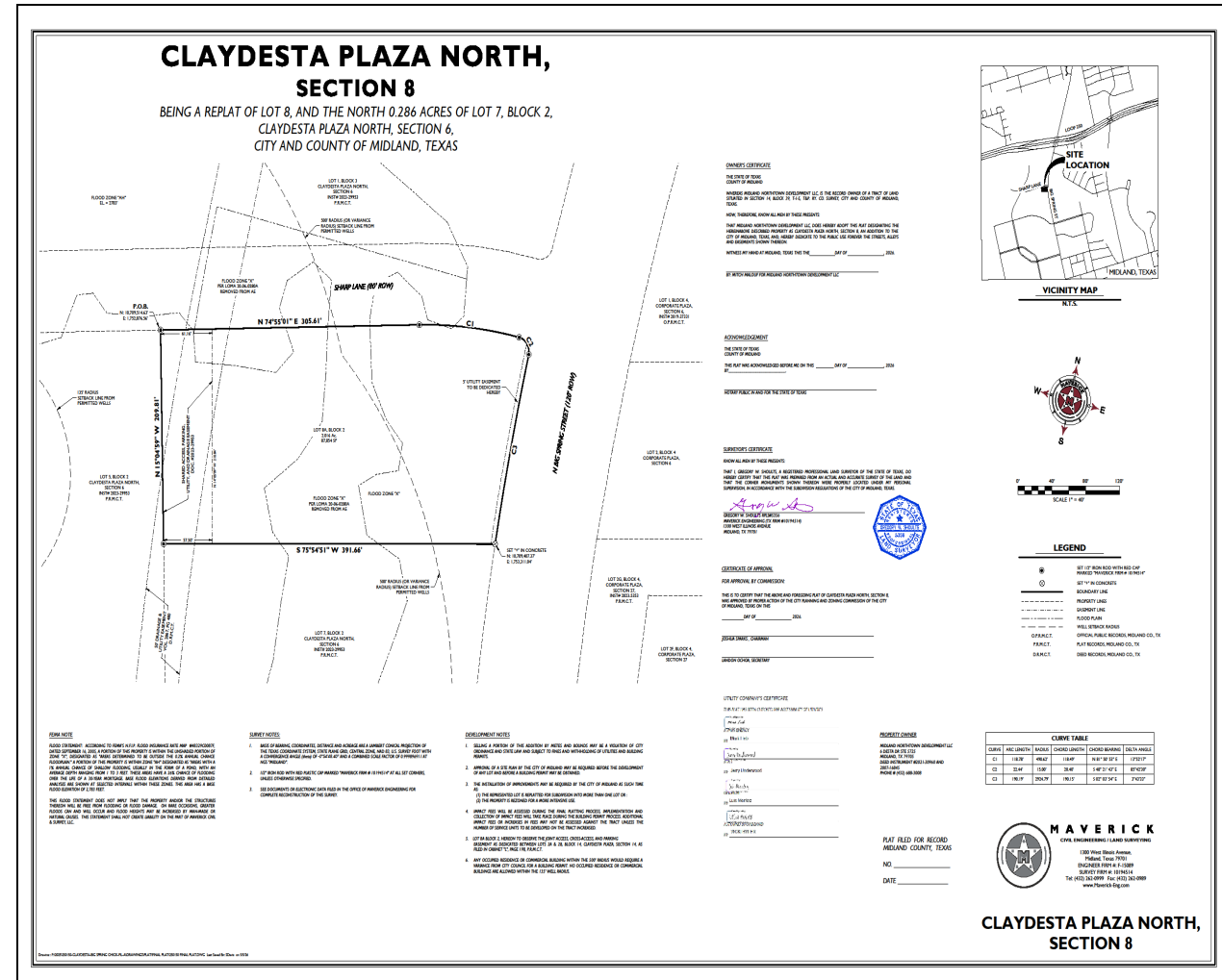
APPLICATION SUMMARY

- **Property Owner:** Midland Northtown Development, LLC
- **Representative:** Ashlee Devine, with Maverick Engineering
- **Location:** Generally located at the southwest corner of the intersection of Sharp Lane and North Big Spring Street. (Council District 3)
- **Reason for Request:** To develop a quick-service restaurant



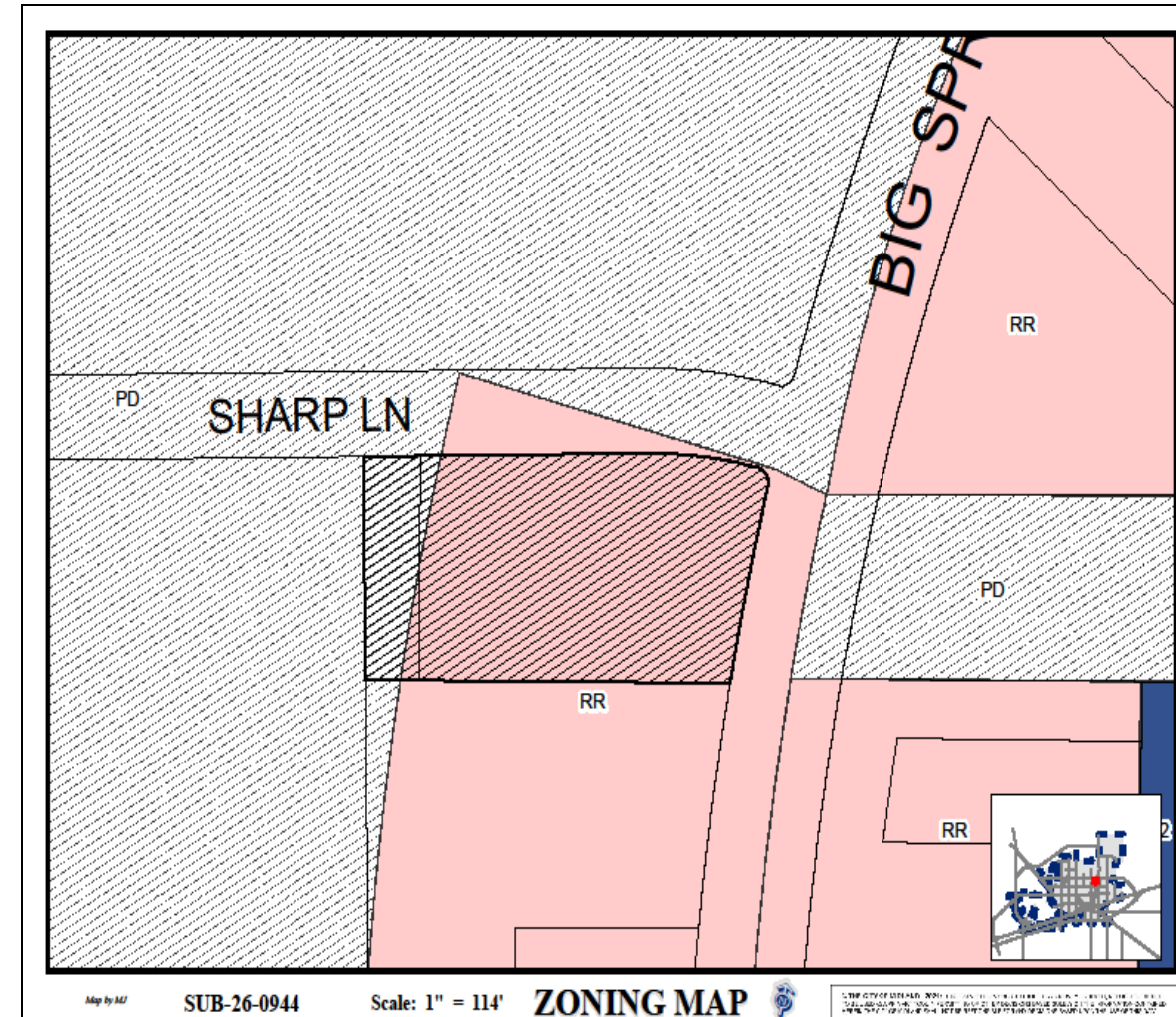
PLAT DETAILS

- Acreage: 2.016 acres
- Number of Existing Lots: 2
- Number Proposed Lots: 1



ZONING

- **Current Zoning:** RR, Regional Retail District, in part, and PD, Planned Development District for an Office Center, in part
- **Surrounding Zoning:**
 - **North/West/East:** PD, Planned Development District for an Office Center
 - **South:** RR, Regional Retail District



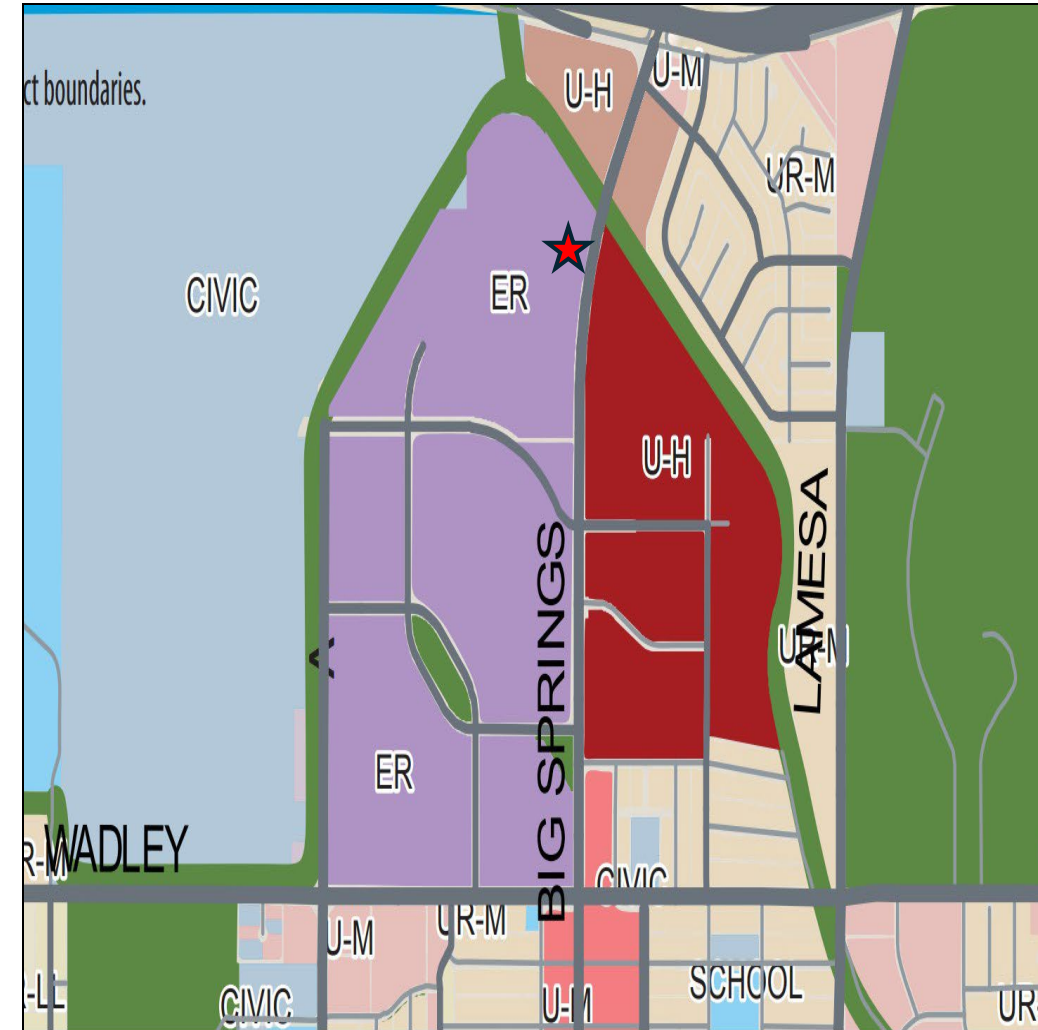
LAND USE

- **Current Use:** Vacant Land
- **Surrounding Uses:**
 - **North/South:** Vacant Land
 - **East:** Hotel
 - **West:** Oil Well
- **Proposed Use:** Quick-Service Restaurant



COMPREHENSIVE PLAN

- **Land Use Designation:** ER, Employment Reserve
- **Supported Uses:** Supports centers with major office and business use.



STAFF'S RECOMMENDATION

- The Planning & Zoning Commission approved the preliminary plat on March 16, 2026.
- Staff recommends approval of this request.



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 7.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Motion approving a Final Plat of Permian Estates, Section 24, being a replat of Lots 18 and 19, Block 81, Permian Estates, City and County of Midland, Texas (Generally located at the northwest corner of the intersection of West Wall Street and Fasken Drive)

Purpose:

Duryn Henington, on behalf of NJ Properties LLC, is requesting to replat a property located at 3832 West Wall Street into two lots in order to reconfigure lot layout for sale of a portion.

Recommended Action:

Approve

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

RR, Regional Retail District

Final Plat Requirements:

The official signed Mylar copy of the final plat, the original tax certificate from the Midland Central Appraisal District and a title opinion have been received. All other conditions for final plat approval have been satisfied.

The final plat attached hereto has been circulated to all City departments for review.

Below are the departments' comments.

Engineering: (Approved)

IMPACT FEES: Okay as shown. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.]

PAVING: Fasken roadway okay as is. No public paving improvements required. West Wall Frontage road is TxDOT facility, built and maintained by TxDOT, no improvements required excluding driveways and curb cuts. [For Applicant's Information Only.]

WATER: 6" water exists in Fasken Street, okay as is. 12" water exists in Wall Street, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 8" sewer exists in Fasken Street, okay as is. 8" sewer exists in Wall Street okay as is. 8" sewer exists in alley north of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Existing site is developed; If proposing to re-develop site drainage can be reviewed with building permit.

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

Transportation: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

Fire: (Approved)

The Fire Department has reviewed the final plat and has no objection to approval. This approval is limited to platting only and does not constitute approval of fire code compliance or guarantee of adequate fire protection infrastructure. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903). Compliance will be verified during the civil plan review and building permit submittal.

Oil and Gas: (Approved)

No Oil & Gas issues

Building Code: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

GIS: (Approved)

Label block of plats east and west of plat.

Addressing: (Approved)

No comments

Health: (Approved)

The lot is close to a public sewer line, no need for a septic system.

Planning: (Approved)

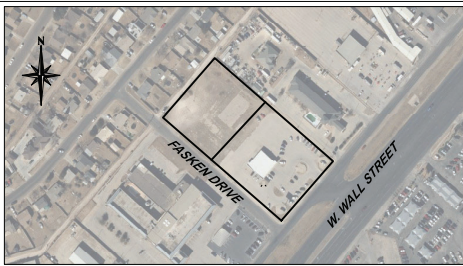
Staff recommends approval of the Final Plat of Permian Estates, Section 24.

Attachments:

- A. P-26-2560, Combined files
- B. P&Z - - Permian Estates, Section 24 Final Plat

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/8/2026
Final Approval - 6/12/2026



VICINITY MAP
(NOT TO SCALE)

NOTICE:

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- COORDINATES, BEARINGS, DISTANCES AND AREAS SHOWN HEREON ARE LAMBERT GRID AND CONFORM TO THE "TEXAS COORDINATE SYSTEM", TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM 1983.
- WITH REFERENCE TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR MIDLAND COUNTY, MAP NO. 48329C0201F, EFFECTIVE DATE: 09/16/05, THIS SURVEYOR HAS DETERMINED THAT THIS PROPERTY IS LOCATED IN ZONE "X"; AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THIS DETERMINATION SHALL NOT CREATE A LIABILITY UPON SAID SURVEYOR.

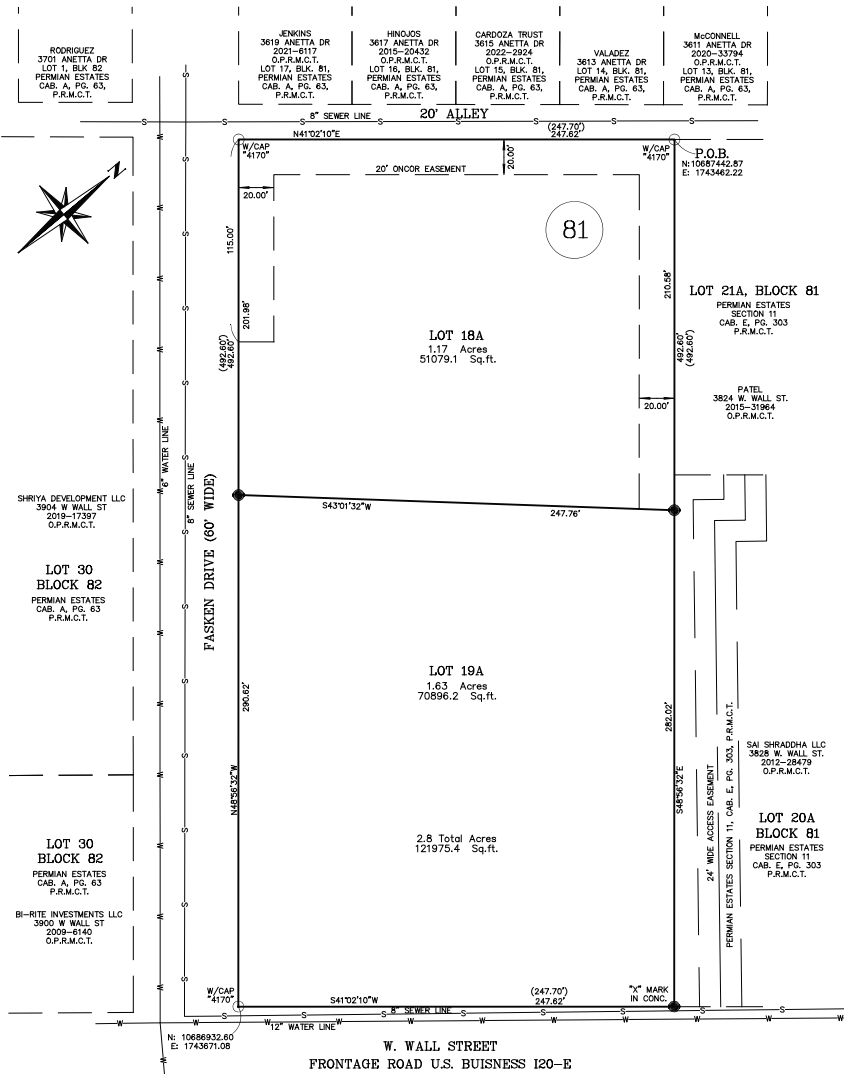
- LEGEND**
- Set 1/2" I.R.
 - W/Cap "RPLS 6832"
 - Fnd. 1/2" I.R.
 - Existing Sewer Line
 - Existing Water Line



FINAL PLAT

PERMIAN ESTATES, SECTION 24

BEING A REPLAT OF LOTS EIGHTEEN (18) AND NINETEEN (19)
BLOCK EIGHTY-ONE (81), PERMIAN ESTATES,
CITY AND COUNTY OF MIDLAND, TEXAS



OWNER'S CERTIFICATE

THE STATE OF TEXAS
COUNTY OF MIDLAND

N J PROPERTIES LLC, is the record owner of Lots Eighteen (18) and Nineteen (19), Block Eighty-One (81) Permian Estates, City and County of Midland, Texas, according to the plat or map filed of record under Cabinet A, Page 63, Plat Records of Midland County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That N J PROPERTIES LLC, being the owner of the land shown on this plat designated as EIGHTEEN A (18A) AND NINETEEN A (19A), BLOCK EIGHTY-ONE (81), PERMIAN ESTATES, SECTION 24, an Addition to the City of Midland, Midland County, Texas and whose name is subscribed hereto, do hereby dedicate to the public use forever the streets, alleys, and easements shown thereon; and do hereby give an easement of ingress and egress to the City of Midland for garbage and trash collection, and location and maintenance of trash containers and access thereto, and condition said easement that no construction shall commence on said lot or lots until the exact location of said containers therewith have been selected and approved by the Director of Utilities.

WITNESS my hand at _____, this the _____ day of _____, 2026.

By: ROBERT STEVEN JAMES AUTHORIZED SIGNATOR

ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, ROBERT STEVEN JAMES known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he was acting as the authorized agent, and that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated. Given under my hand and seal of office this the _____ day of _____, 2026.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, DURYN HENNINGTON, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown thereon were properly located under my personal supervision, in accordance with the Subdivision Regulations of the City of Midland, Texas.

DURYN HENNINGTON, R.P.L.S. 6832
2030 W. CUTHBERT, SUITE 4,
MIDLAND, TEXAS
432-570-6256

CERTIFICATE OF APPROVAL

For approval by the commission:

This is to certify that the above and foregoing plat of "PERMIAN ESTATES, SECTION 24" was approved by proper action of the City Planning and Zoning Commission of the City of Midland, Texas on this

the _____ day of _____, 2026.

JOSHUA SPARKS, CHAIRMAN

LONDON OCHOA, SECRETARY

UTILITY COMPANY'S CERTIFICATE

This plat has been checked for accessibility of utilities.

ATMOS ENERGY Print Name: _____

ONCOR ELECTRIC DELIVERY Print Name: _____

OPTIMUM Print Name: _____

ASTOUND Print Name: _____

AT&T-TEXAS Print Name: _____

PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS

NO. _____ CABINET _____

DATE: _____ PAGE _____

OWNER:
N J PROPERTIES LLC
600 TWO CREEK PLAZA
RICHARDSON, TX
75080-1677
EJ: 432-559-6769

MAY 2026

PENNEL LAND SURVEYING, LLC

SURVEYING FIRM #: 10193978
2030 W. Cuthbert, Midland, Texas 79701
(432)570-6256, brucepennell@yahoo.com

PERMIAN ESTATES,
SECTION 24



Location Map

SUB-26-0965

Scale: 1" = 100'

Proposed plat of Permian Estates, Section 24, being a replat of Lots 18 and 19, Block 81, Permian Estates, City and County of Midland, Texas.

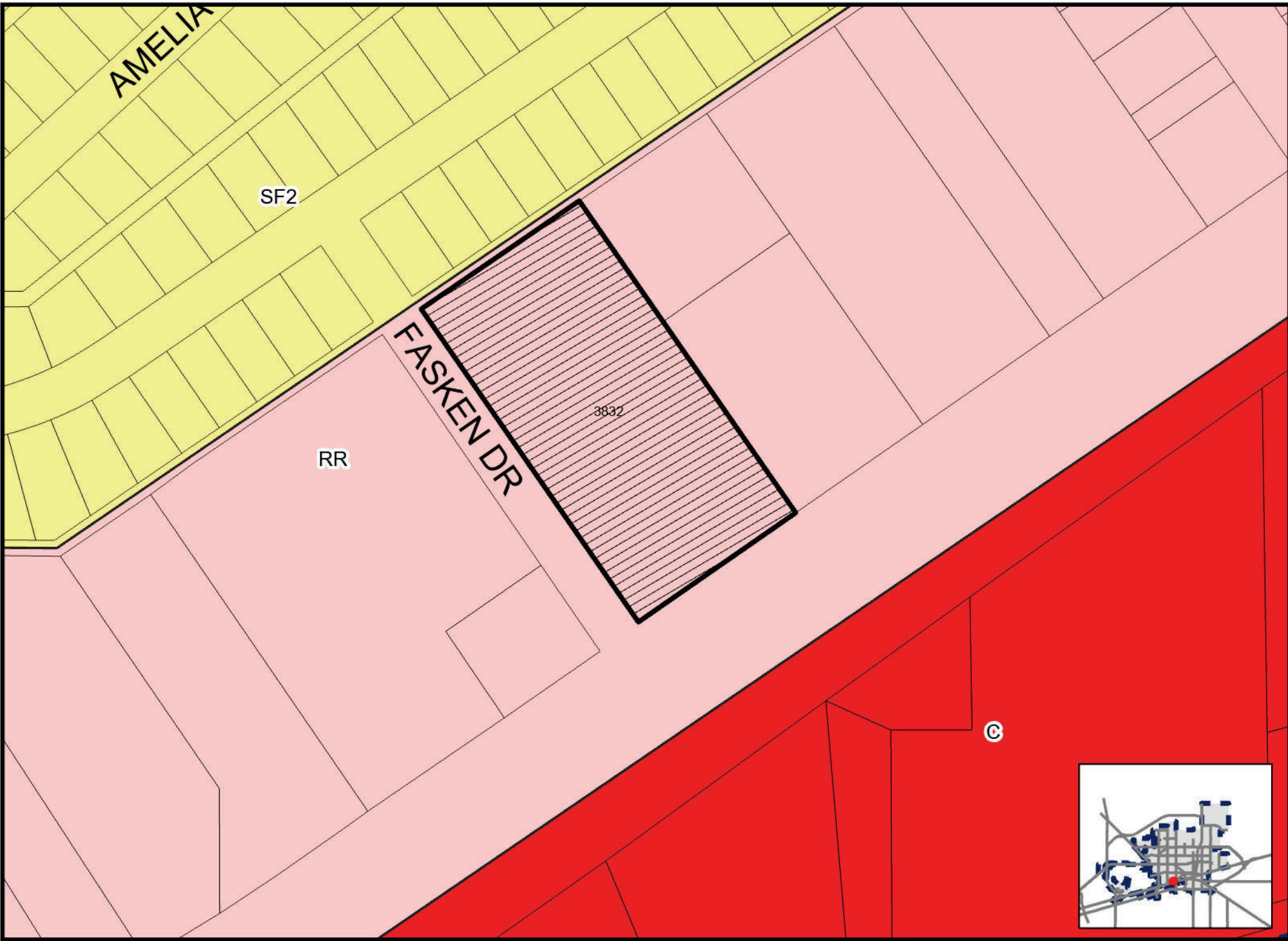
Generally located at the northwest corner of the intersection of West Wall Street and Fasken Drive.
(Council District 2)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.







FINAL PLAT PERMIAN ESTATES, SECTION 24

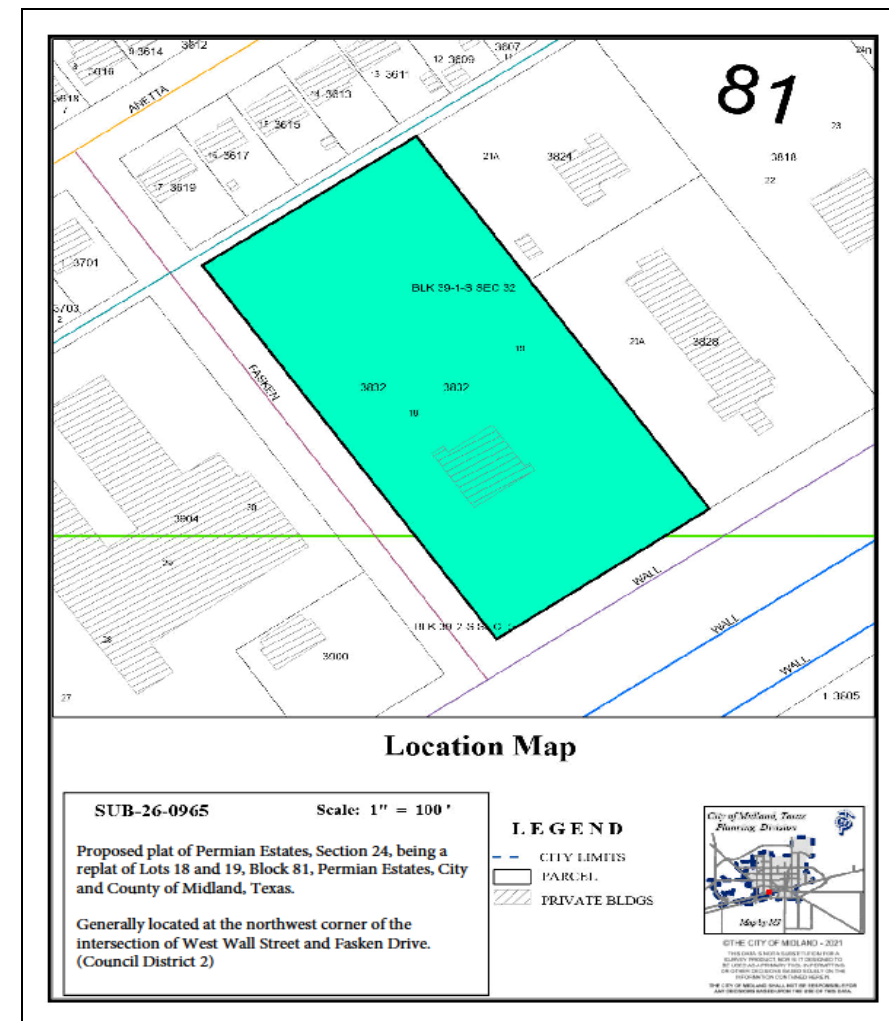


Visit Our Website

MIDLANDTEXAS.GOV

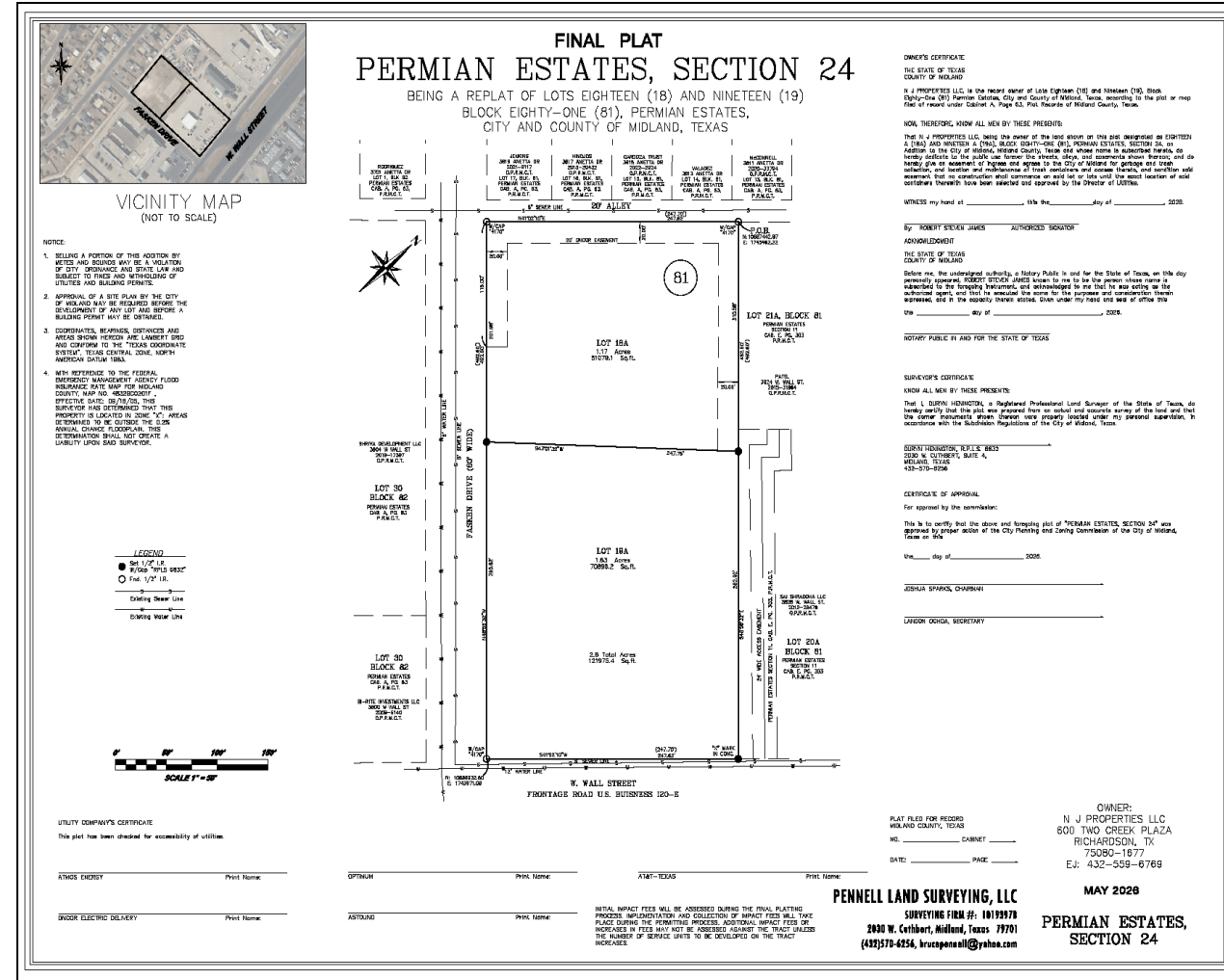
APPLICATION SUMMARY

- **Property Owner:** NJ Properties, LLC
- **Representative:** Duryrn Henington, with Pennell Surveying
- **Location:** 3832 West Wall Street (Council District 2)
- **Reason for Request:** To reconfigure the lots layout



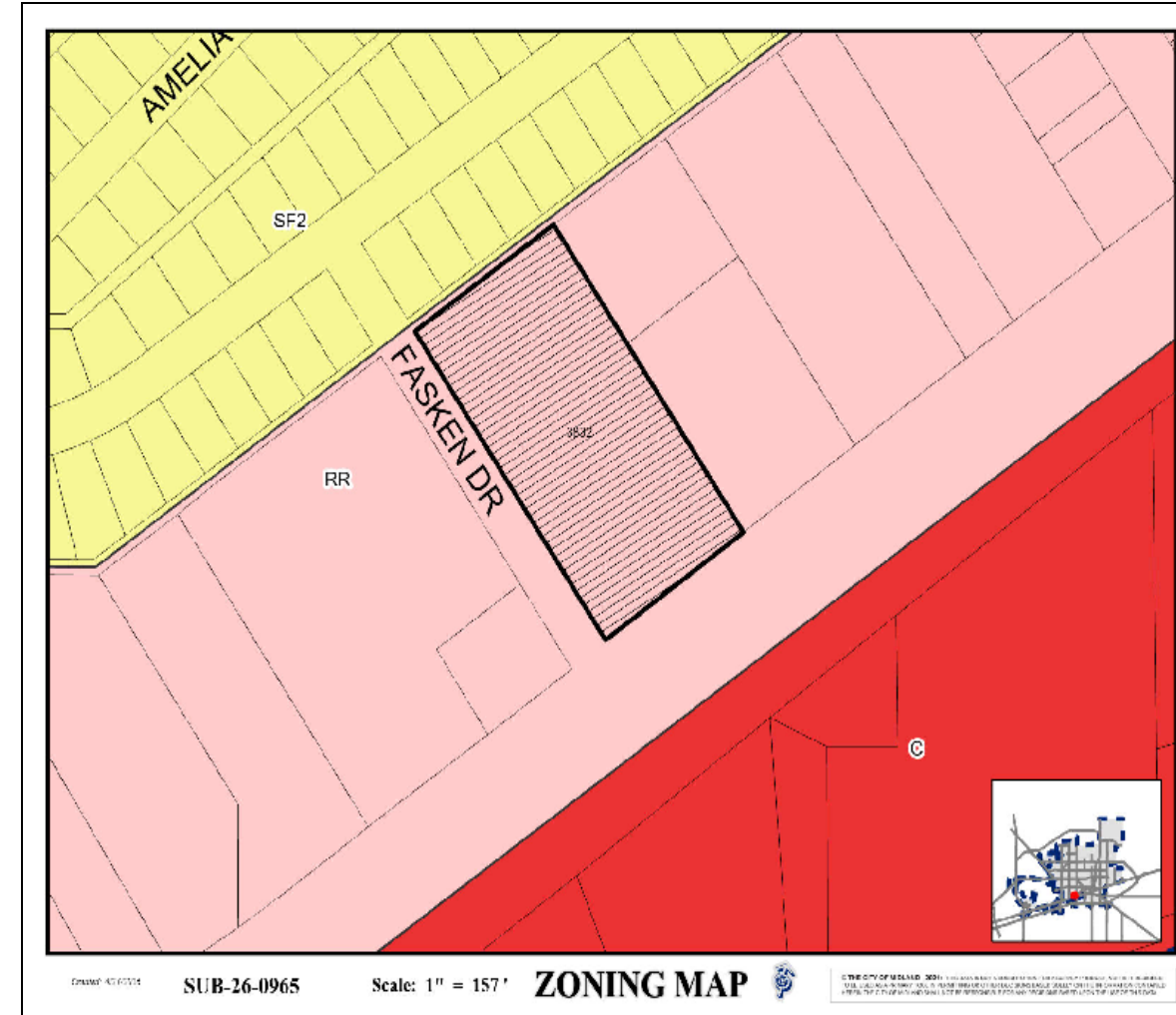
PLAT DETAILS

- Acreage: 2.80 acres
- Number of Existing Lots: 2
- Number Proposed Lots: 2



ZONING

- **Current Zoning:** RR, Regional Retail District
- **Surrounding Zoning:**
 - **North/South:** RR, Regional Retail District
 - **East:** C, Commercial District
 - **West:** SF-2, Single-Family Dwelling District



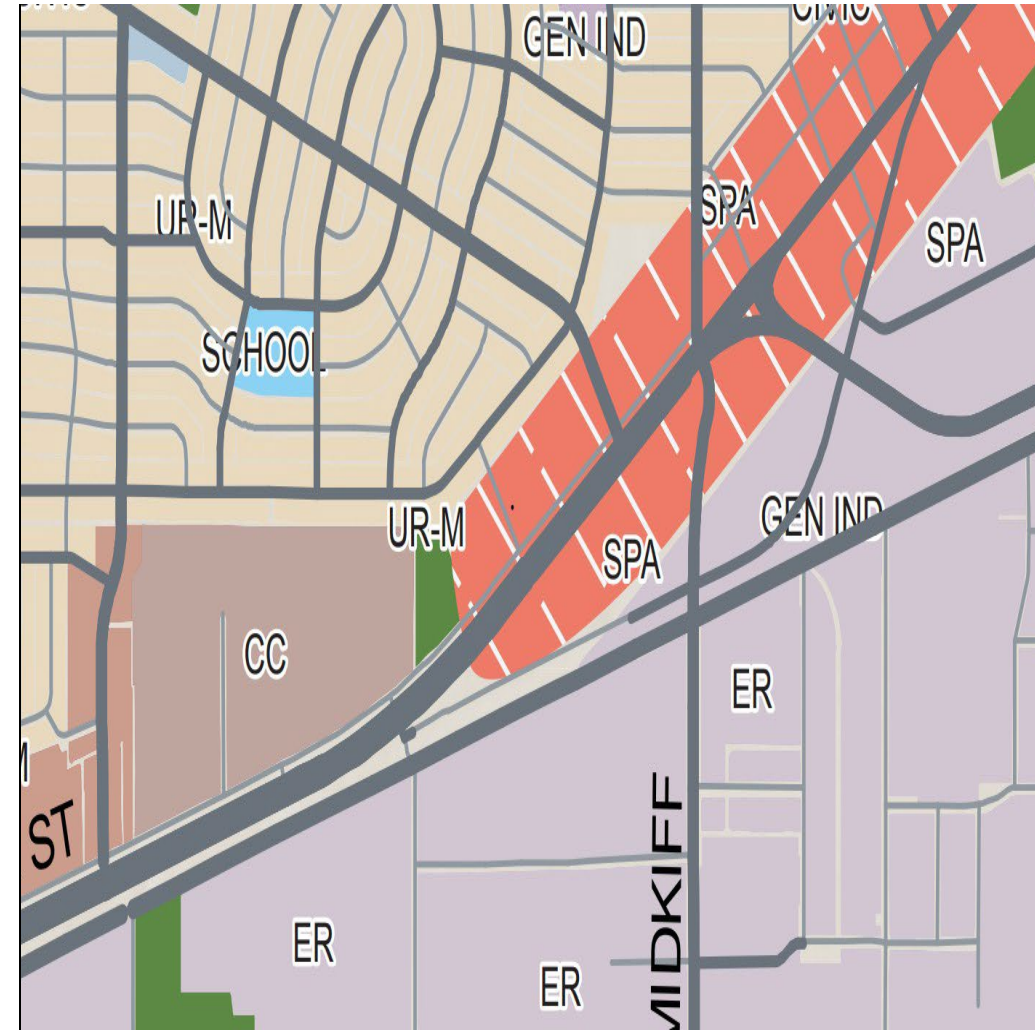
LAND USE

- **Current Use:** Automobile Vehicle Sales
- **Surrounding Uses:**
 - **North:** Motels
 - **South:** West Wall Street
 - **East:** Automobile Vehicle Sales
 - **West:** Residential



COMPREHENSIVE PLAN

- **Land Use Designation:** Special Study Area, (SPA)
- **Supported Uses:** There are no established policies for this designation.



STAFF'S RECOMMENDATION

- The Planning & Zoning Commission approved the preliminary plat on May 4, 2026.
- Staff recommends approval of this request.



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 8.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From:
Subject: Motion approving a Final Plat of Warfield Industrial Park, Section 3, being a replat of Lot 1, Block 1, Warfield Industrial Park, and a 4.66-acre tract of land out of Section 18, Block 40, T-2-S, T&P RR Co Survey, Midland County, Texas (Generally located at the southwest corner of the intersection of West County Road 127 and South Farm to Market Road 1788)

Purpose:

Recommended Action:

No Action

Fiscal Impact:

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Attachments:

None

Landon Ochoa, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/12/2026
Final Approval - 6/12/2026



Planning and Zoning Commission Meeting

Item Number: 9.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Beatriz Quezada, Planner
Subject: Hold a public hearing and consider a Preliminary Plat of Arnett's Acres, Section 2, being a replat of Lot 5, Arnett's Acres, City and County of Midland, Texas. (Generally located on the east side of North Lamesa Road, approximately 350 feet north of East Golf Course Road.)

Purpose:

Magrym Consulting, on behalf of Tierra Plana, LLC, is requesting to plat one lot into two lots for a residential development for the property located at 2002 North Lamesa Road.

Recommended Action:

Approve

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

SF-2, Single-Family Dwelling District

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved with Conditions)

IMPACT FEES: Okay as Shown. [For Applicant's Information Only.]

ROW: Refer to Transportation's Comment's. [For Applicant's Information Only.]

PAVING: Lamesa roadway okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: 12" water exists in Lamesa Street W of tract, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 12" sewer exists in Lamesa Street W of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Drainage study not required for development into single family residences. Development considered infill. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

TRANSPORTATION: (Approved with Conditions)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.] No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No Oil & Gas issues.

GIS: (Approved)

Name should be Arnett's Acres based on section 1 of this subdivision. (confirm with Planning)[Informational]

Confirm with Surveying that coordinates are correct. [Informational] Display correct Block. [Informational]

Addressing Review: (Approved with Conditions)

Subdivision Name s/v "Arnett's Acres, Section 2", not Arnett Acres, Section 2. Note Only: Address must be 2002 A for Lot 5B, and Lot 5A must be 2002 B. There are not any even numbers available adjacent to these lots.[Informational]

PLANNING: (Approved with Conditions)

Groundwater is not being used for this subdivision. Instead, the subdivision will be served by City utilities. [Informational]

Subdivision Name should be Arnett's Acres based on the first plat. [Information]

Lot 3 [Information]

Use legal description provided. [Information]

Property owner for property with unknown owner is D G STRATEGIC II LLC with recording information, 2011-21093 or Lot 23A, Block 2, Loma Linda Annex, Second Addition [Information]

Lot dimensions, sizes need to conform to zoning district regulations. Zone change must be approved prior to the final plat approval. [11-2-5(B)2]

Staff recommends approval of the preliminary plat of Arnett's Acres, Section 2 subject to the following conditions:

Condition:

- A. **Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

Attachments:

- A. P-26-2563, Combined Files
- B. P&Z - - Arnett's Acres Section 2 Residential Replat Preliminary Plat

Beatriz Quezada, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/10/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT

ARNETT'S ACRES SECTION 2

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO CITY OF MIDLAND, MIDLAND COUNTY, TEXAS.

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

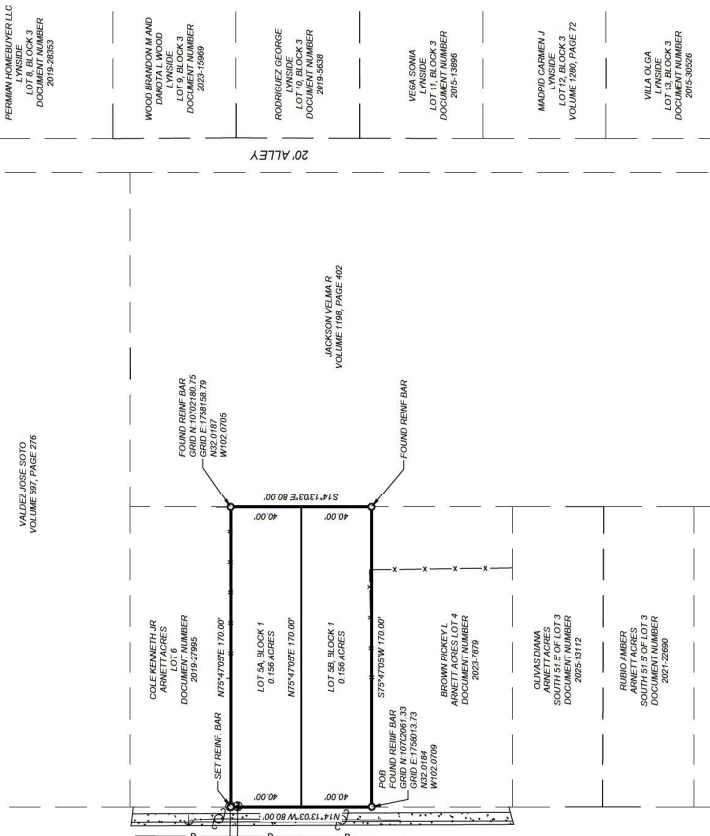
OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:



LEGEND:

- x- FENCE LINE
- O- OVERHEAD ELECTRIC
- C- UTILITY POLE
- W- WIRE GUY ANCHOR
- E- ELECTRIC METER
- A- AIR CONDITIONER
- M- MONUMENT AS DESCRIBED
- W- WATER METER
- S- SANITARY SEWER MANHOLE
- P- PROPERTY LINE
- A- ADJOINING PROPERTIES
- W- WATER LINE
- S- SEWER LINE
- G- GAS LINE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES:

ONCOR ELECTRIC DELIVERY COMPANY

AT&T TEXAS

ATMOS ENERGY

OPTIMUM COMMUNICATIONS

ASTOUND COMMUNICATIONS

NOTES:

1. BEARINGS, DISTANCES AND ACRES ARE BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983."
2. MONUMENTS ARE A 1/2 INCH REINFORCING BAR SET WITH YELLOW PLASTIC CAP STAMPED "MAGNYM" UNLESS OTHERWISE NOTED.
3. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BILLING PERMITS.
4. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
5. INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASE OF FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
6. THE INSTALLATION OF PUBLIC IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS (1) ANY LOT IS RE-PLATTED FOR SUBDIVISION INTO MORE THAN ONE TRACT OR (2) THE PROPERTY IS RECORDED FOR A HOME INDUSTRY USE.
7. PROPERTY IS IN ZONE X ACCORDING TO FEMA MAP PANEL 48390C009M WITH AN EFFECTIVE DATE OF 8/19/2006.
8. A SHARED ACCESS EASEMENT IS HEREBY ESTABLISHED BETWEEN LOTS 1 AND 2 FOR COMMON DRIVEWAY ACCESS, ALLOWING INGRESS AND EGRESS FOR BOTH LOTS, IN ACCORDANCE WITH CITY OF MIDLAND ACCESS SPACING REQUIREMENTS.

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

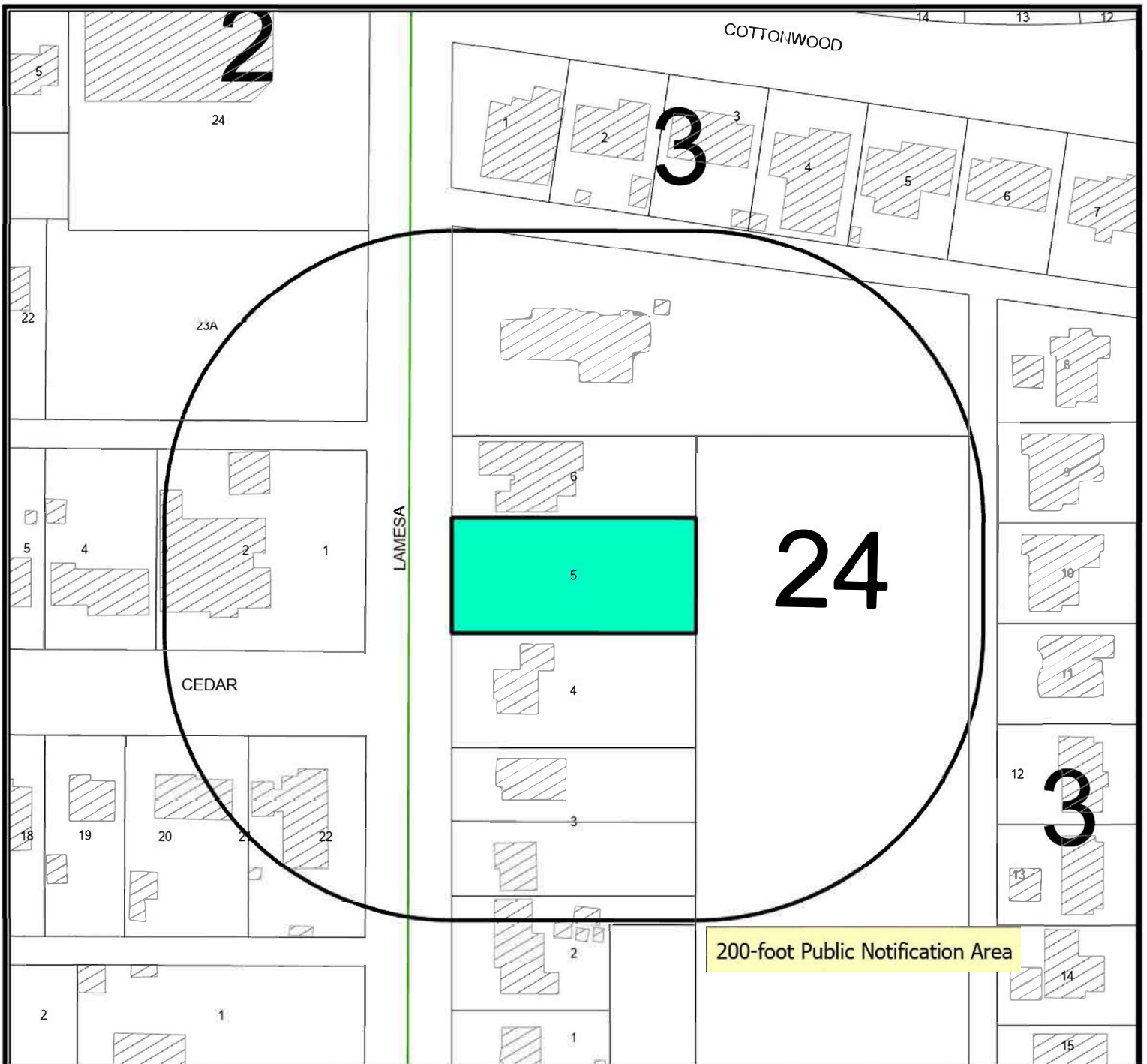
OWNER'S CERTIFICATE

WHEREAS, TERRA FLAMA, LLC IS THE RECORD OWNER OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS TO THE PORTION OF SAID PLAT OF RECORD THAT IS BEING REPLATED AND BEING ALL OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEING A REPLAT OF LOT 5, ARNETT ACRES, AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN GABINET 8, PAGE 1, PLAT RECORDS, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:



Location Map

SUB-26-0978

Scale: 1" = 100'

Proposed plat of Arnett's Acres, Section 2, being a replat of Lot 5, Arnett's Acres, City and County of Midland, Texas.

Generally located on the east side of North Lamesa Road, approximately 350 feet north of East Golf Course Road. (Council District 2)

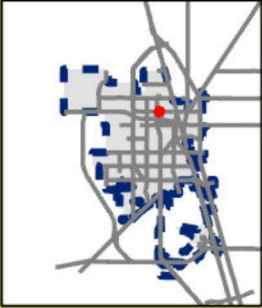
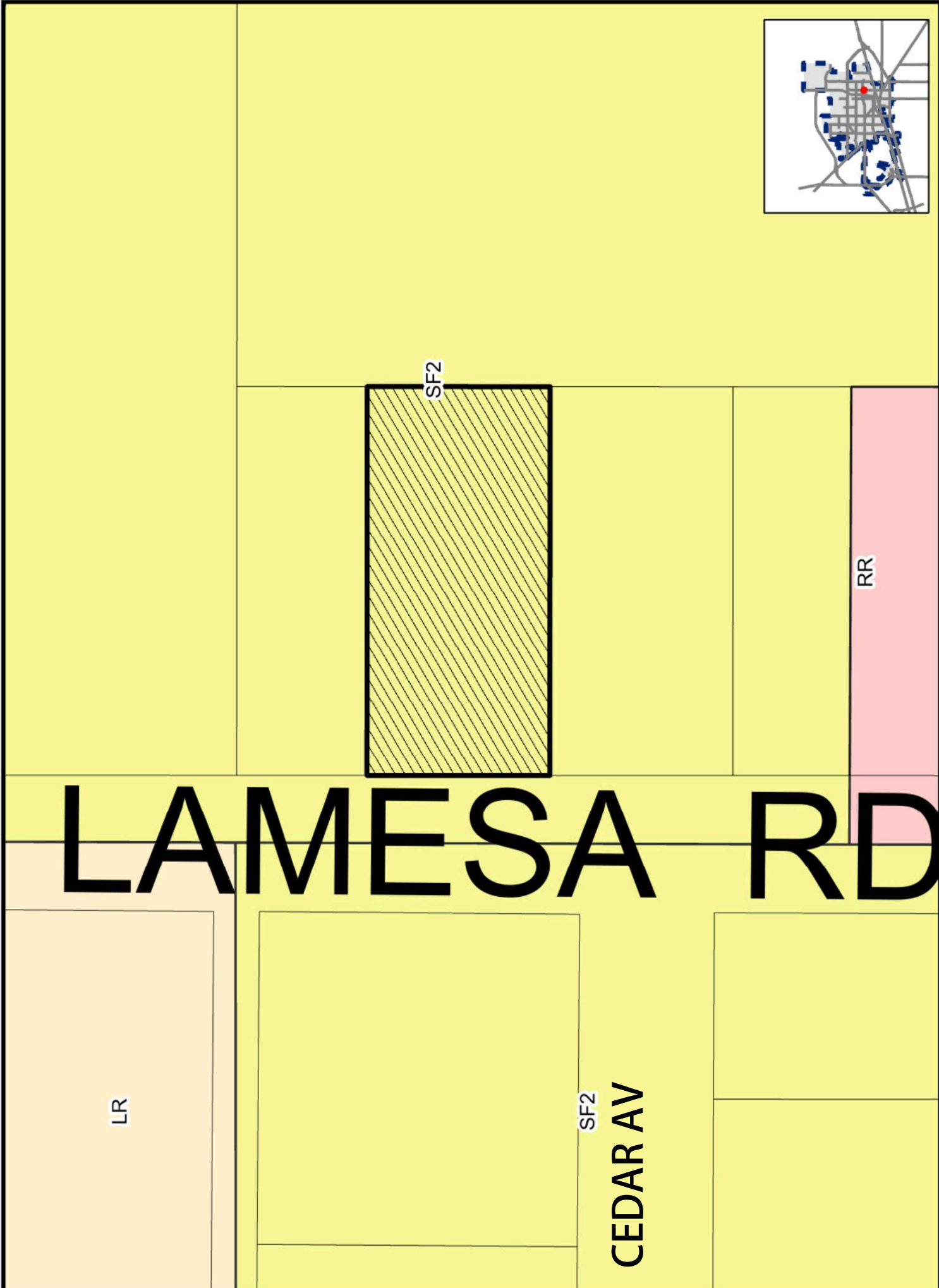
LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND - 2021. THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



ZONING MAP

Scale: 1" = 53'

SUB-26-0978

Created: 5/26/2026

RR

SF2

LR

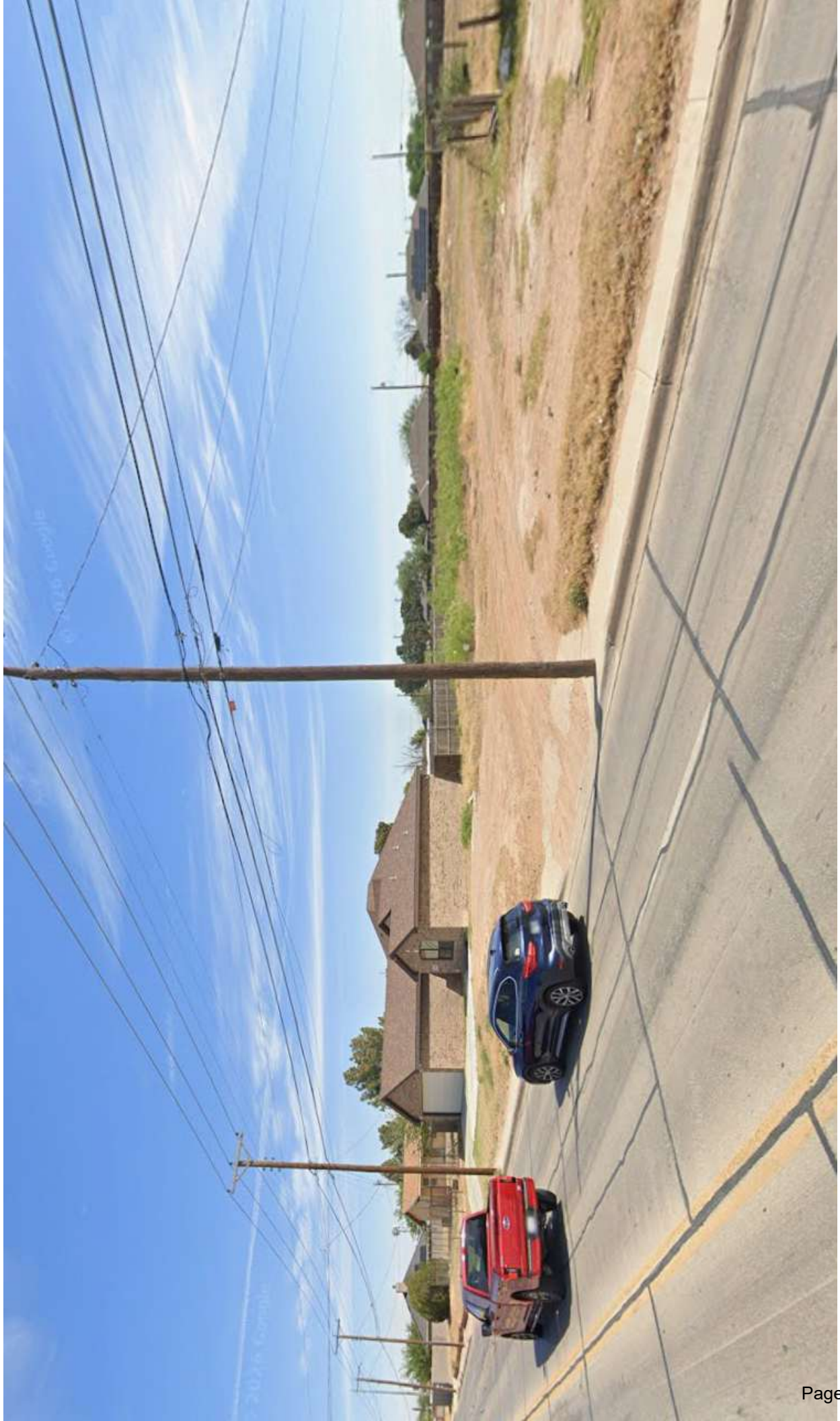
SF2

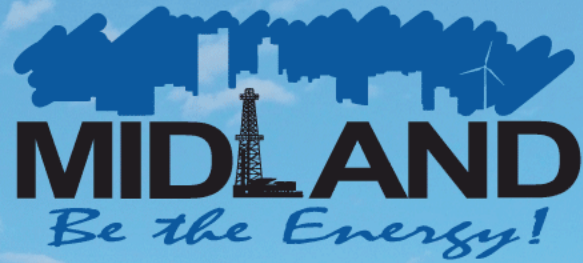
CEDAR AV

LAMESA RD

22







PRELIMINARY PLAT ARNETT'S ACRES, SECTION 2

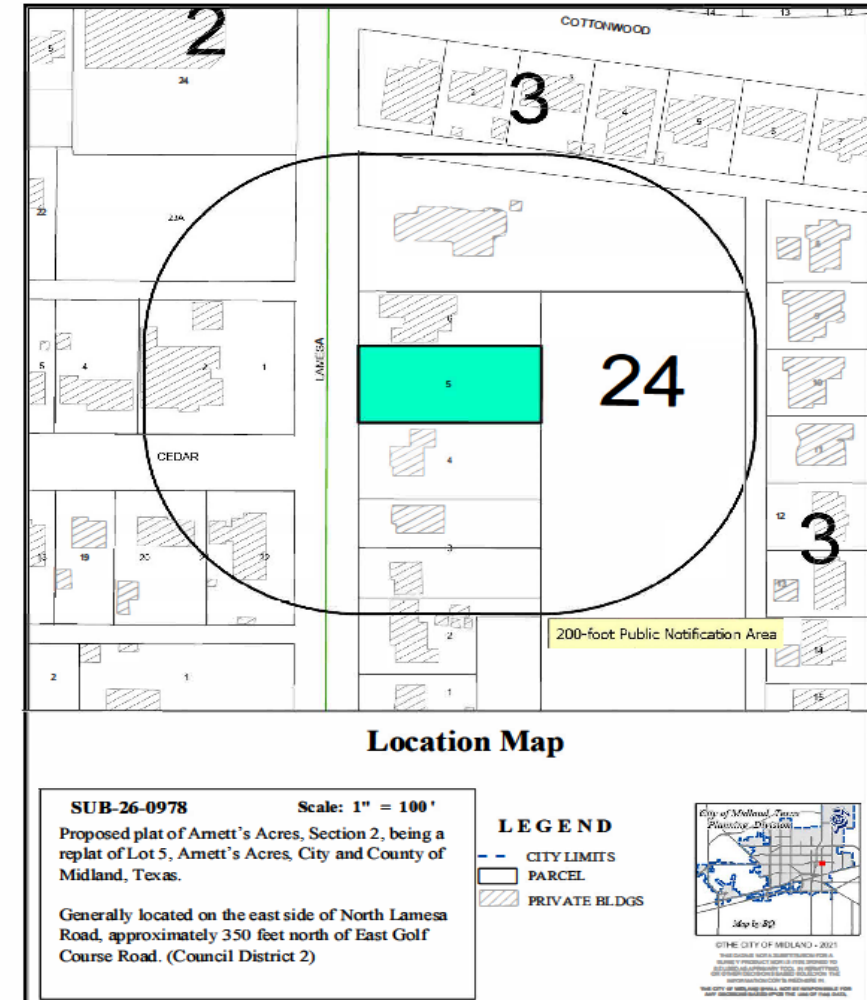


Visit Our Website

MIDLANDTEXAS.GOV

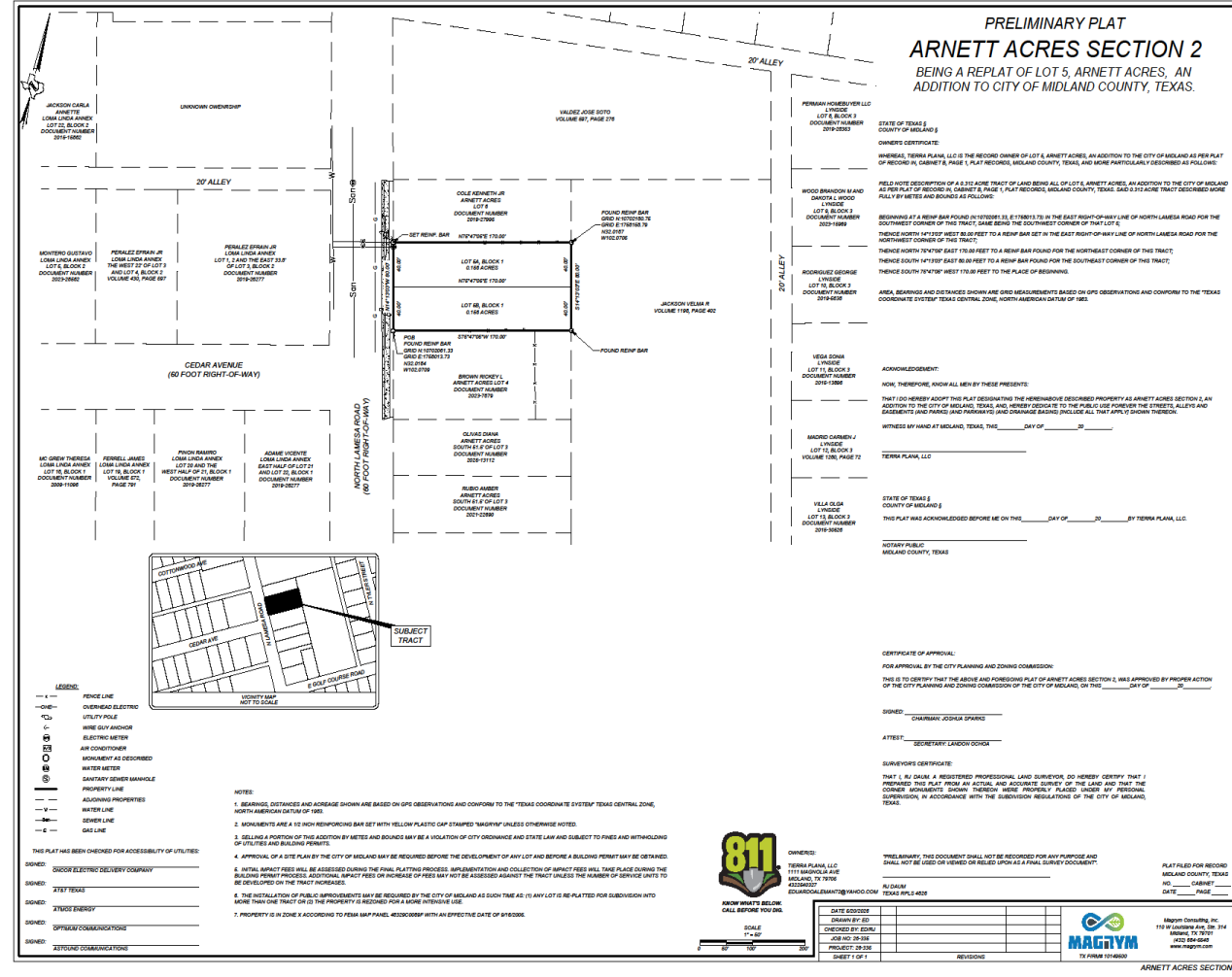
APPLICATION SUMMARY

- **Property Owner:** Tierra Plana, LLC
- **Representative:** Eduardo Aleman, with Magrum Consulting
- **Location:** 2002 North Lamesa Road (Council District 2)
- **Reason for Request:** For the development of a residential dwelling unit



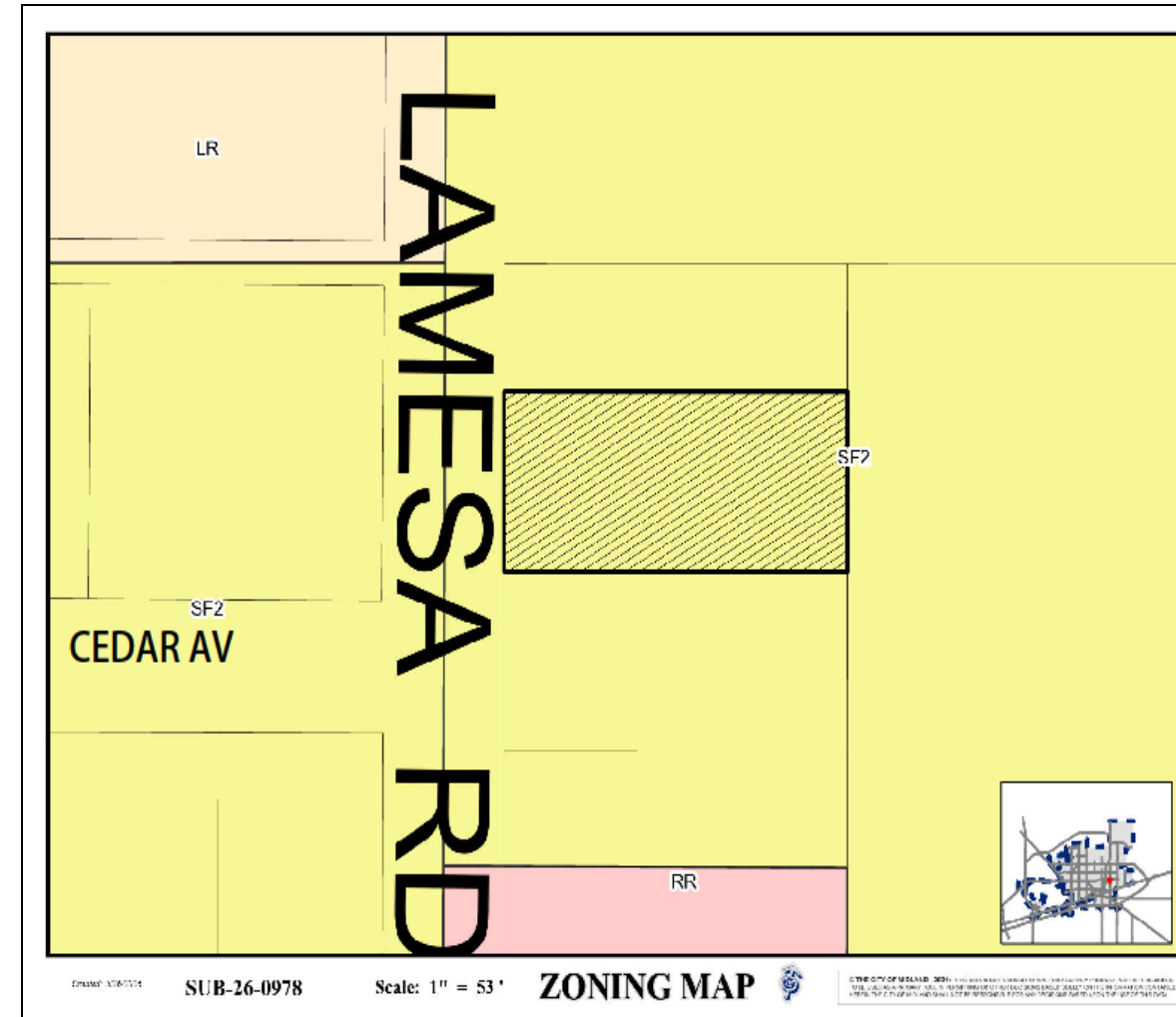
PLAT DETAILS

- Acreage: 0.312 acres
- Number of Existing Lots: 1
- Number Proposed Lots: 2



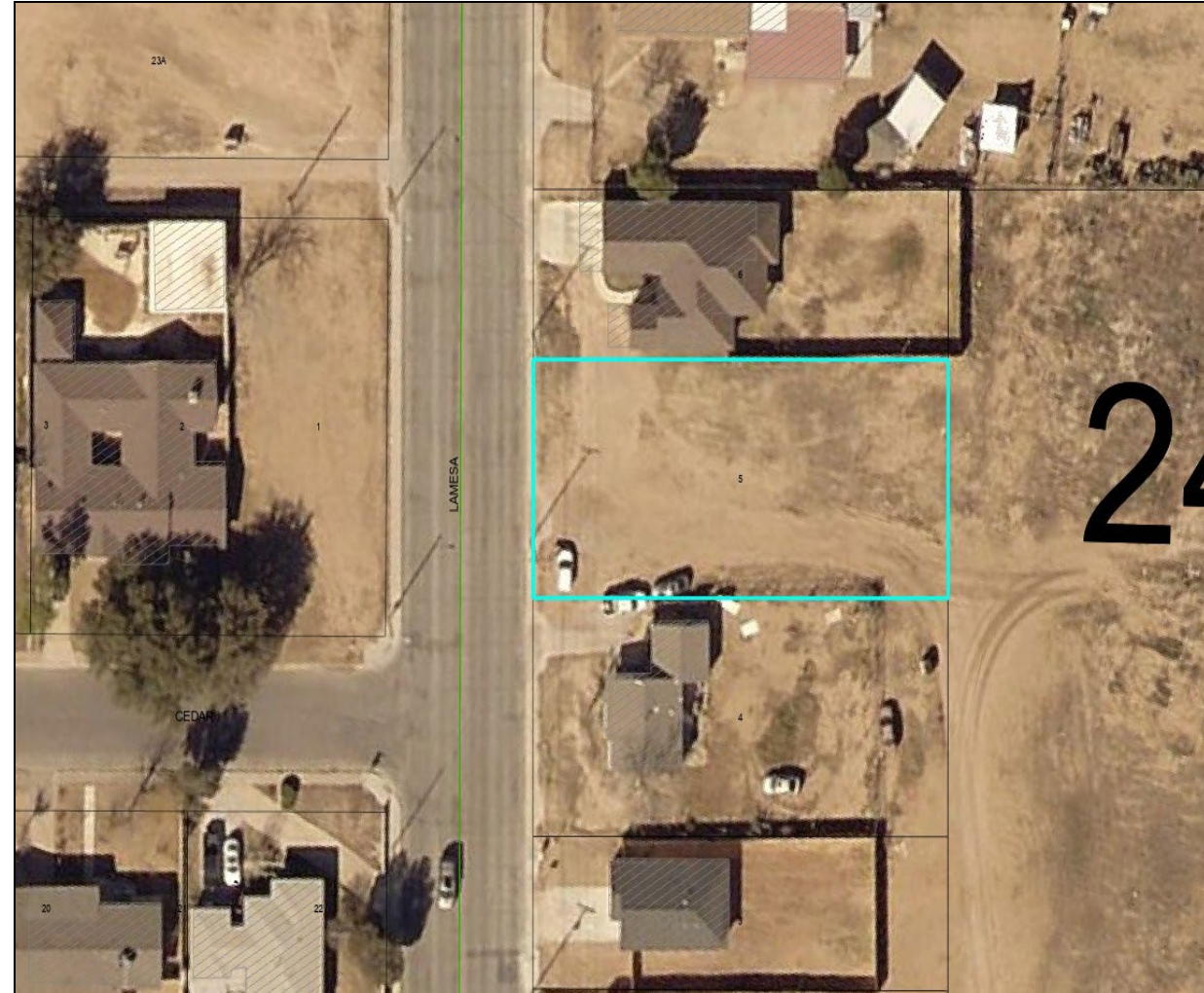
ZONING

- **Current Zoning:** SF-2, Single-Family Dwelling District
- **Surrounding Zoning:**
 - **North/South/West/East:** SF-2, Single-Family Dwelling District



LAND USE

- **Current Use:** Vacant land
- **Surrounding Uses:**
 - **North/South/West:** Residential
 - **East:** Vacant land
 - **Proposed Use:** Residential

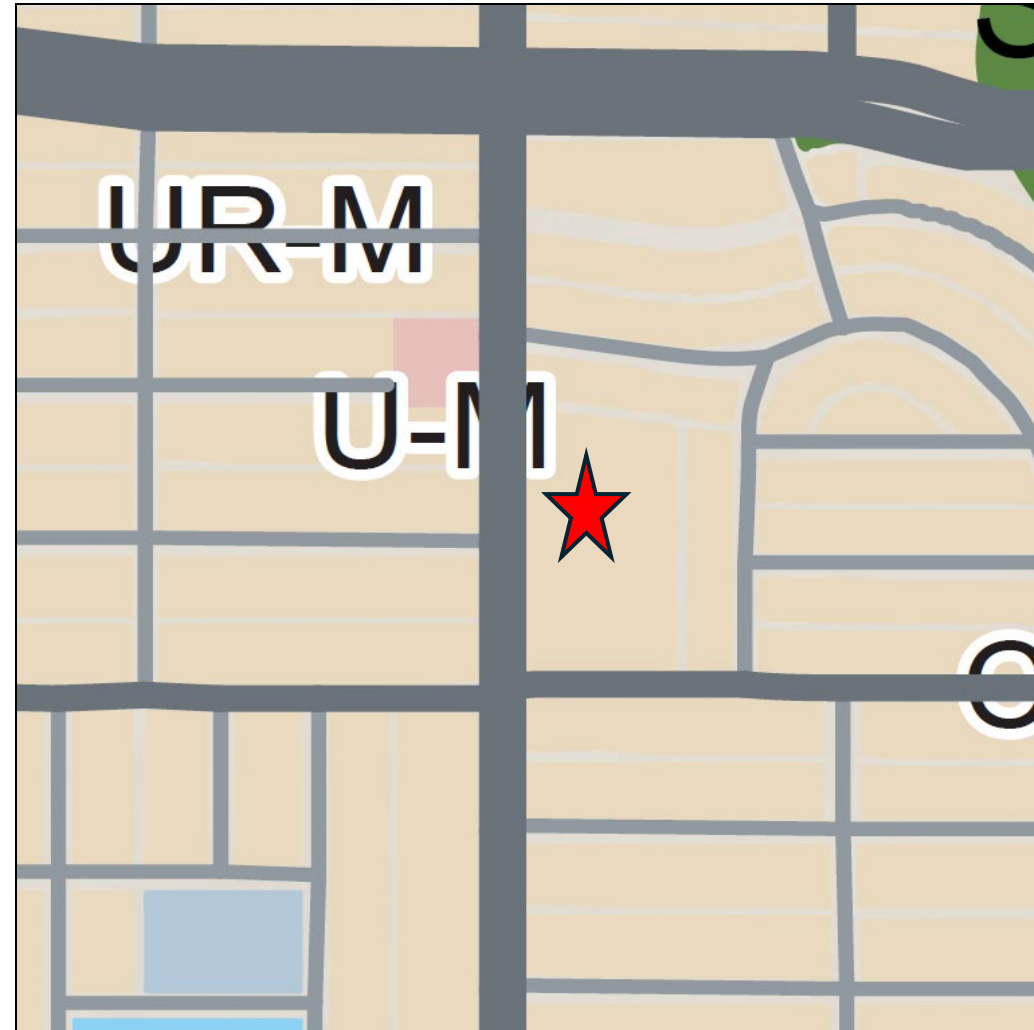




On North Lamesa Road, Looking East

COMPREHENSIVE PLAN

- **Land Use Designation:** Urban Residential - Medium (UR-M)
- **Supported Uses:** Emphasizing a mix of housing styles including single-family detached, single-attached and townhouses.



STAFF'S RECOMMENDATION

- No objections were received.
 - Staff recommends approval of this request subject to the following conditions
- A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.



STAFF'S RECOMMENDATION

- A. [Condition per ordinance]
- B. [Condition per ordinance]
- C. [Condition per ordinance]





Planning and Zoning Commission Meeting

Item Number: 10.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Beatriz Quezada, Planner
Subject: Hold a public hearing and consider a Preliminary Plat of Plainsview Estates, Section 2, being a replat of Lot 5, Block 1, Plainsview Estates, City and County of Midland, Texas. (Generally located on the east side of Todd Road, approximately 1,070 feet north of East County Road 77.)

Purpose:

Maverick Engineering, on behalf of Jacked LP, is requesting to replat one lot into two lots for residential development on the property located at 3300 Bragg Drive.

Recommended Action:

Approve

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

SF-1, Single-Family Dwelling District

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved with Conditions)

IMPACT FEES: Okay as Shown. [For Applicant's Information Only.]

ROW: Refer to Transportation's Comment's. [For Applicant's Information Only.]

PAVING: Bragg DR. roadway is a private road with public access easement, okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: Bragg Dr. is a private road with no public R.O.W, okay as is. No public Utility improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: Bragg Dr. is a private road with no public R.O.W, okay as is. No public Utility improvements required. [For Applicant's Information Only.]

DRAINAGE: Show compliance with Plainview Estates Drainage Letter, prepared by Maverick Engineering and approved by City on 01/08/2026. [Reference City Code Sect. 11-2-3(D)8]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Bragg Dr. is a private road with no public R.O.W, okay as is. No Sidewalk improvements required. [For Applicant's Information Only.]

TRANSPORTATION: (Approved)

No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No Oil & Gas issues

GIS: (Approved with Conditions)

Please confirm west call (there is a discrepancy between this replat and Plainsview Estates, Sec 1).

Addressing Review: (Approved)

No comment.

Health Department: (Approved)

Yes, the health department will review application from the 2 proposed lot of Plainsview Estates, Section 2 , RE-PLAT OF LOT 5 BLOCK 1, PLAINSVIEW ESTATES AN ADDITION TO THE CITY AND COUNTY OF MIDLAND TEXAS, lot 5A is 2 acre, lot 5B is 1.3 acre, property owner must contact the pipeline company to get the setback to their pipeline before any excavation can occur, to ensure the proposed plans on the application for the septic system will meet the setbacks from the water well on the property and the water wells on the adjacent properties.

PLANNING: (Approved with Condition)

Groundwater is the intended water source for the subdivision. The Groundwater Availability Certification has been submitted and is under review. [Informational]

Remove an Addition to on Legal Description [Information]

Use Legal Description provided [Information]

Updated Chairman to Joshua Sparks [Information]

Staff recommends the approval of the preliminary plat of Plainsview Estates, Section 2 subject to the following conditions:

Condition:

- A. **Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

Attachments:

- A. P-26-2566, Combined Files
- B. P&Z - - Plainsview Estates, Section 2 Residential Replat

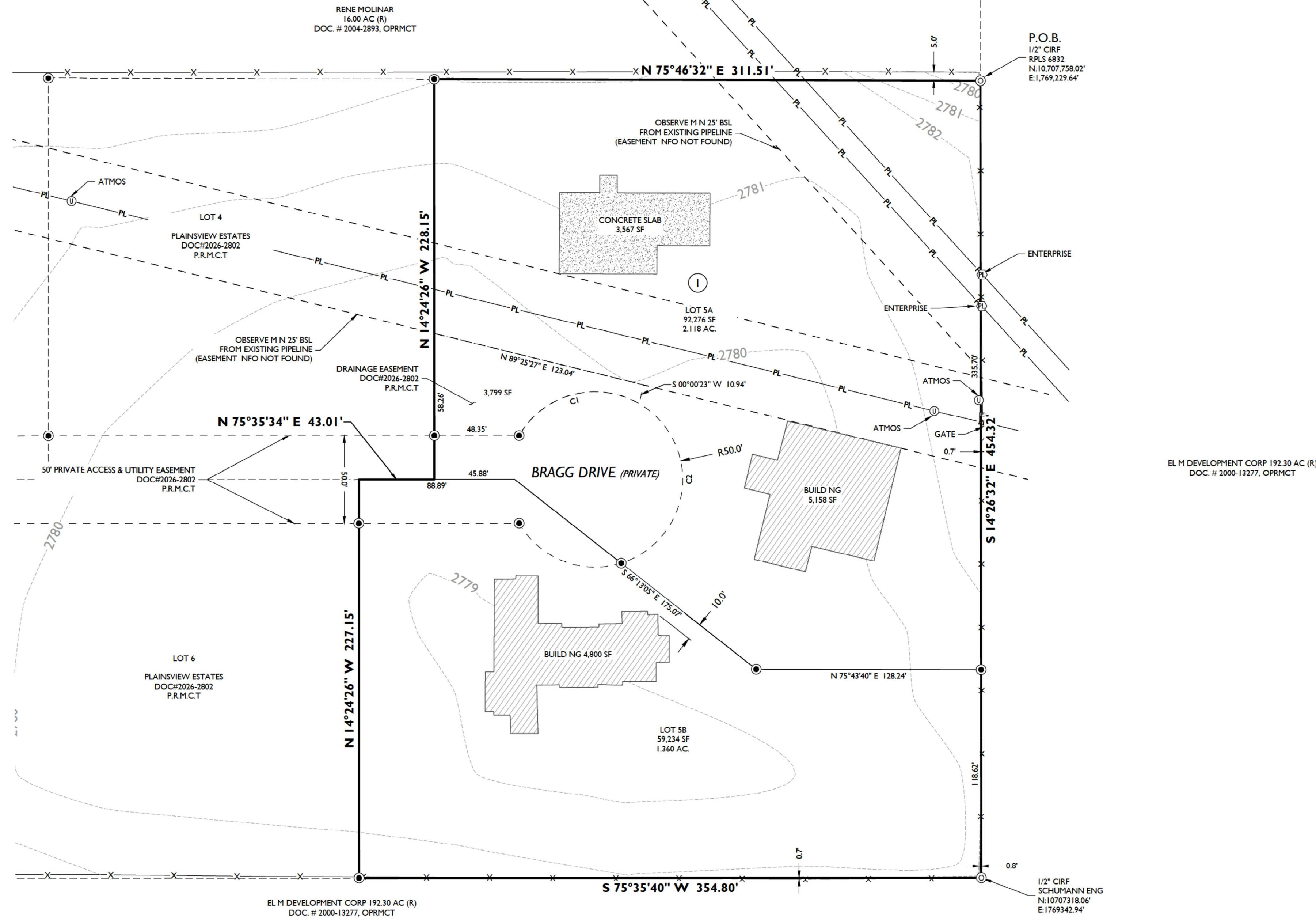
Beatriz Quezada, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/5/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT

PLAINSVIEW ESTATES, SECTION 2

BEING A REPLAT OF LOT 5 BLOCK 1, PLAINSVIEW ESTATES AN ADDITION TO THE CITY AND COUNTY OF MIDLAND, TEXAS



DEVELOPMENT NOTES

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITH-HOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- THE INSTALLATION OF IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS:
 - THE REPRESENTED LOTS ARE REPLATTED FOR SUBDIVISION INTO MORE THAN ONE LOT OR;
 - THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
- IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASED.

SURVEY NOTES

- BASIS OF BEARING, COORDINATES, DISTANCE AND ACREAGE ARE A LAMBERT CONICAL PROJECTION OF THE TEXAS COORDINATE SYSTEM, STATE PLANE GRID, CENTRAL ZONE, NAD 83, U.S. SURVEY FOOT WITH A CONVERGENCE ANGLE (theta) OF -0°54'48.40" AND A COMBINED SCALE FACTOR OF 0.999896911 AT "MIDLAND".
- 1/2" IRON ROD WITH RED PLASTIC CAP MARKED "MAVERICK FIRM # 10194514" AT ALL SET CORNERS, UNLESS OTHERWISE SPECIFIED.
- SEE DOCUMENTS OR ELECTRONIC DATA FILED IN THE OFFICE OF MAVERICK ENGINEERING FOR COMPLETE RECONSTRUCTION OF THIS SURVEY.
- LOCATION OF BURIED UTILITIES AND PIPELINES, IF ANY, IS APPROXIMATE BASED UPON OBSERVED EXISTING SIGNAGE, CITY OF MIDLAND GIS AND VISUAL EVIDENCE, OR BY ONE-CALL 811 SITE MARKINGS AT THE TIME OF THIS SURVEY. DUE CARE IS RECOMMENDED: CALL 1-800-DIG-TESS FOR LOCATES PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- THIS IS A PROVISIONAL PRELIMINARY PLAT. THIS IS NOT TO BE RECORDED OR USED FOR CONSTRUCTION PURPOSES. SET MONUMENTS SHOWN HEREON ARE ALSO PRELIMINARY AND SHALL ONLY BE PLACED IN ACCORDANCE WITH A FINAL SURVEY SEALED BY THE SURVEYOR OF RECORD.

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO FEMA'S NFIP FLOOD INSURANCE RATE MAP #48329C0100F, DATED SEPTEMBER 16, 2005, THIS PROPERTY IS WITHIN THE UNSHADED PORTION OF ZONE "X", DESIGNATED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF MAVERICK CIVIL & SURVEY, LLC.

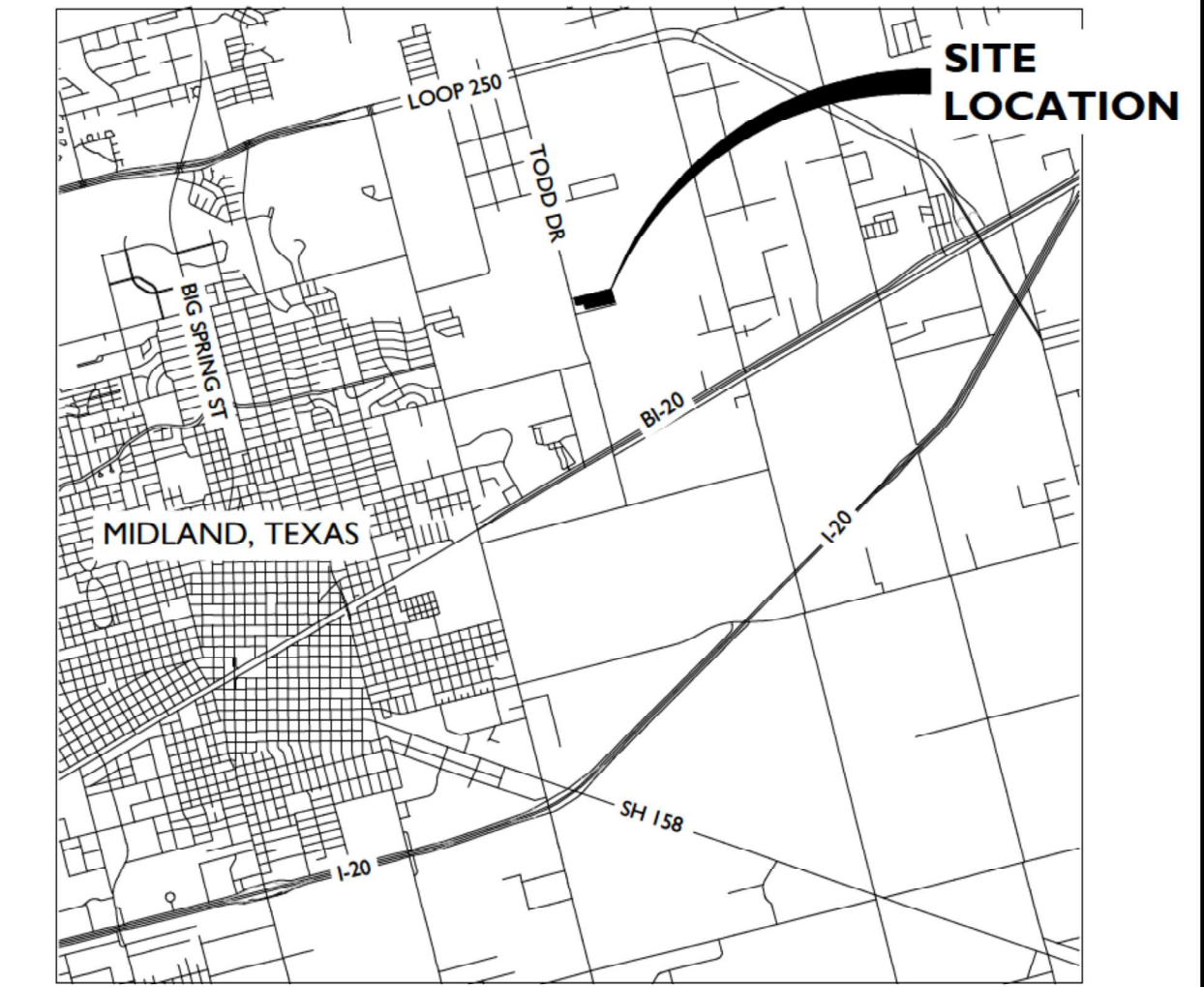
CERTIFICATE OF APPROVAL

FOR APPROVAL BY THE COMMISSION
THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF PLAINSVIEW ESTATES SECTION 2, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, TEXAS ON THIS

DAY OF _____, 2026.

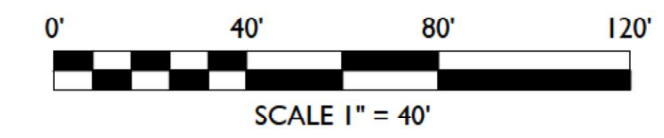
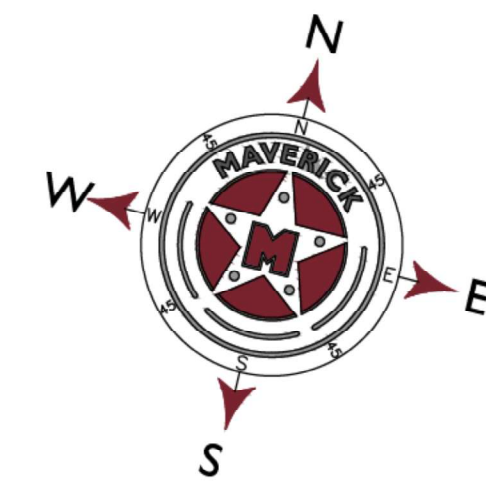
ABRAHAM BEJIL, CHAIRMAN

LONDON OCHOA, SECRETARY



VICINITY MAP

N.T.S.



LEGEND

- ⊙ FOUND MONUMENT AS NOTED
- ⊙ SET 1/2" NCH IRON ROD W/RED PLASTIC CAP MARKED "MAVERICK FIRM #10194514"
- ⊙ EXISTING FLAG (PIN)
- ⊙ EXISTING PIPELINE MARKER
- ⊙ EXISTING UTILITY MARKER
- BOUNDARY LINE
- PROPERTY LINES
- BUILD NG SETBACK L NE
- EASEMENT LINES
- PL — P PEL NE
- ▨ BUILDING
- ▨ CONCRETE
- ⊙ P.R.M.C.T. OFFICIAL PUBLIC RECORDS, MIDLAND CO., TX
- ⊙ P.R.M.C.T. PLAT RECORDS, MIDLAND CO., TX

CURVE TABLE					
CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	DELTA ANGLE
C1	78.65'	50.00'	70.79'	S 60 39 24" W	90 08'17"
C2	261.80'	50.00'	50.00'	S 14 24'26" E	300 00'00"

OWNER'S CERTIFICATE

THE STATE OF TEXAS
COUNTY OF MIDLAND

WHEREAS JACKED, LP, IS THE RECORD OWNER OF LOT 5, BLOCK 1, PLAINSVIEW ESTATES AS DEPICTED ON A PLAT RECORDED AS DOCUMENT NUMBER 2024-2802.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT JACKED, LP, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS PLAINSVIEW ESTATES SECTION 2, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND, HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS THIS THE _____ DAY OF _____, 2026.

BY: DAVID KUHNERT FOR JACKED, LP

ACKNOWLEDGEMENT

THE STATE OF STATE OF TEXAS
COUNTY OF COUNTY OF MIDLAND

THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2026 BY
DAVID KUHNERT.

NOTARY PUBLIC IN AND FOR THE STATE OF STATE OF TEXAS

UTILITY COMPANY'S CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.

ATMOS ENERGY
BY: _____

AT&T
BY: _____

OPTIMUM
BY: _____

ASTOUND BROADBAND
BY: _____

ONCOR ELECTRIC DELIVERY
BY: _____

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, GREGORY W. SHOUL, AM A LICENSED PROFESSIONAL LAND SURVEYOR OF THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF PLAINSVIEW ESTATES SECTION 2, WAS PREPARED FROM A CORNER MONUMENT SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN HEREON ARE THE PROPERTY LOCATES LOCATED AND SET BY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE PROFESSIONAL REGULATIONS OF THE BOARD OF SURVEYORS OF THE STATE OF TEXAS.

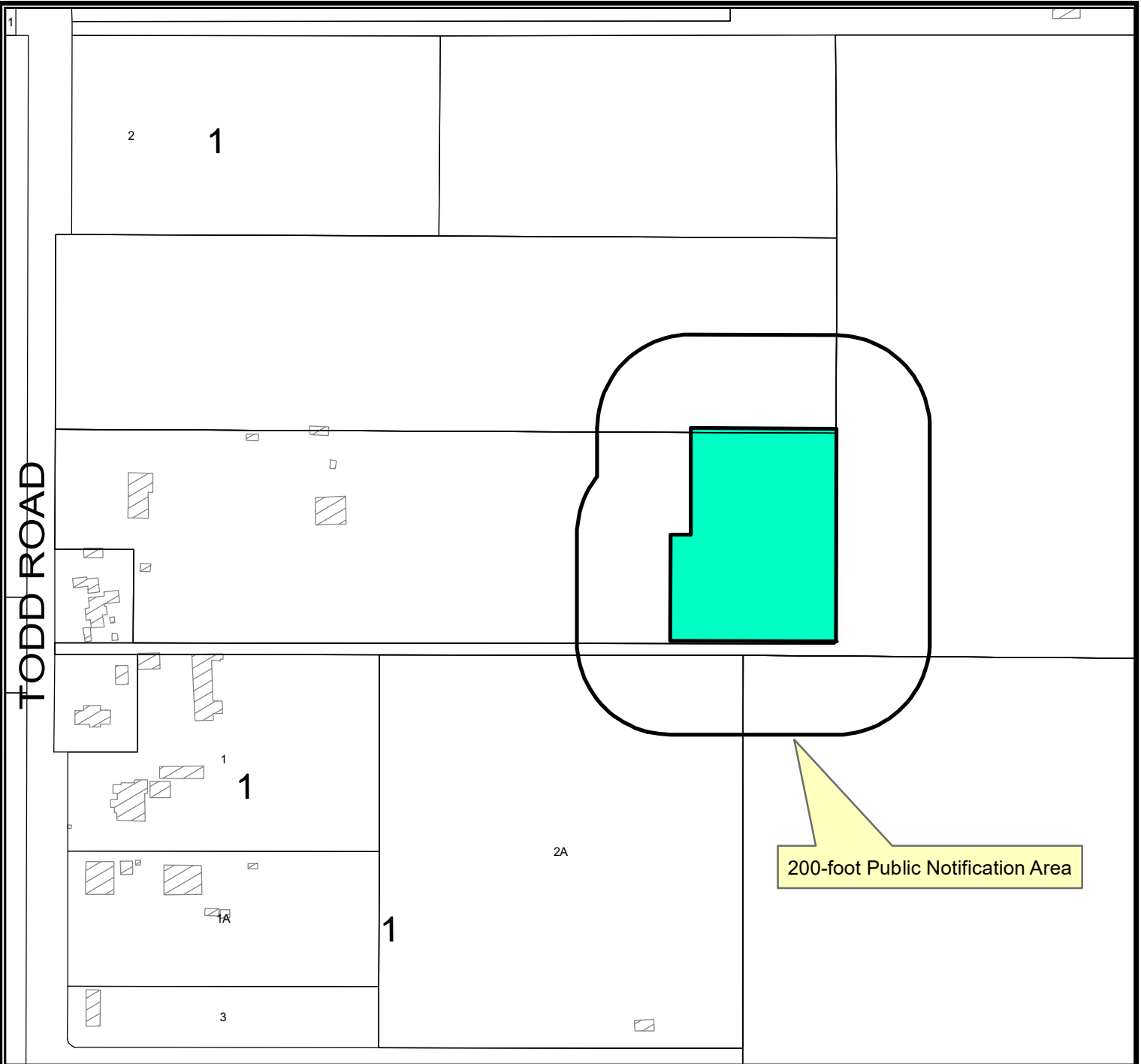
GREGORY W. SHOUL, LICENSE # 3338
MAVERICK ENGINEERING TX FIRM # 10194514
1909 W. WALL STREET, SUITE, K
MIDLAND, TX 79701

PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

MAVERICK
CIVIL ENGINEERING / LAND SURVEYING

1300 West Illinois Avenue
Midland, Texas 79701
ENGINEER FIRM #: F-15089
SURVEY FIRM #: 10194514
Tel: (432) 262-0999 Fax: (432) 262-0989
www.Maverick-Eng.com

PLAINSVIEW ESTATES SECTION 2



200-foot Public Notification Area

Location Map




SUB-26-0981

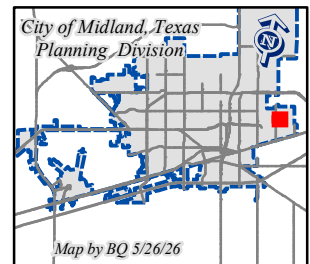
Scale: 1" = 3,000'

Proposed plat of Plainsview Estates, Section 2, being a replat of Lot 5, Block 1, Plainsview Estates, City and County of Midland, Texas.

Generally located on the east side of Todd Road, approximately 1,070 feet north of East County Road 77. (Council District 2)

LEGEND

-  CITY LIMITS
-  PARCEL
-  PRIVATE BLDGS

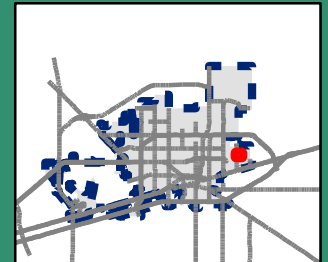


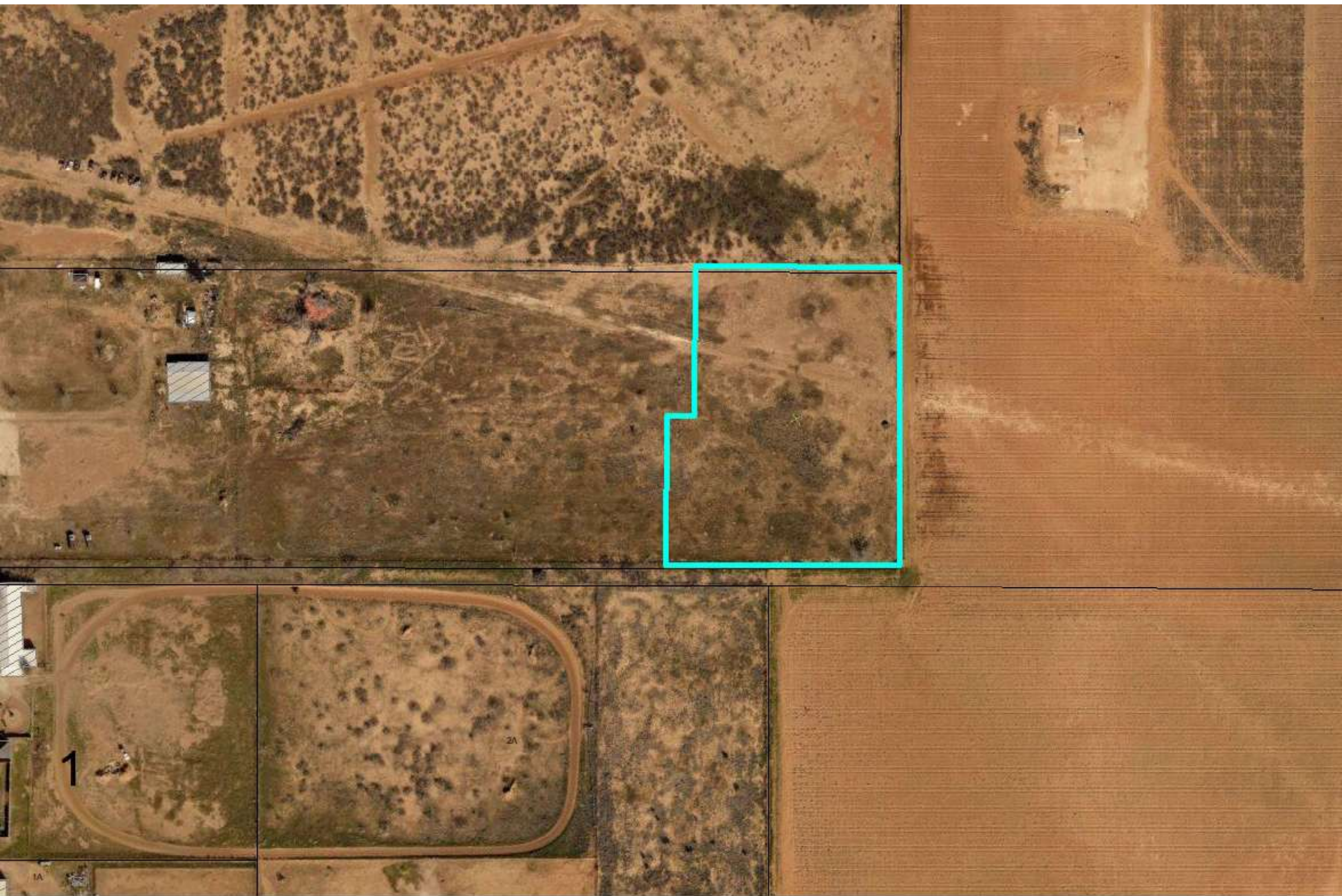
©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.

TODD ROAD

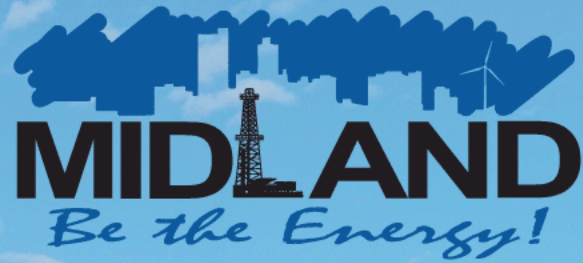
SF1

AE









PRELIMINARY PLAT PLAINSVIEW ESTATES, SECTION 2

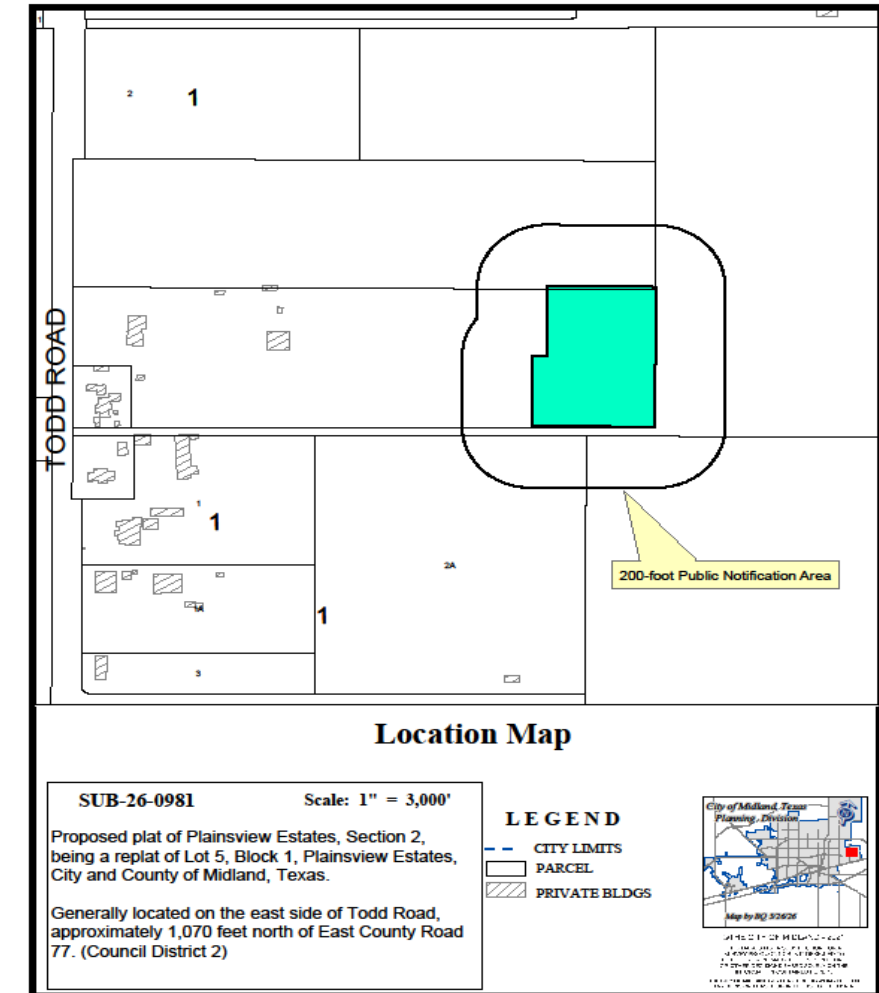


Visit Our Website

MIDLANDTEXAS.GOV

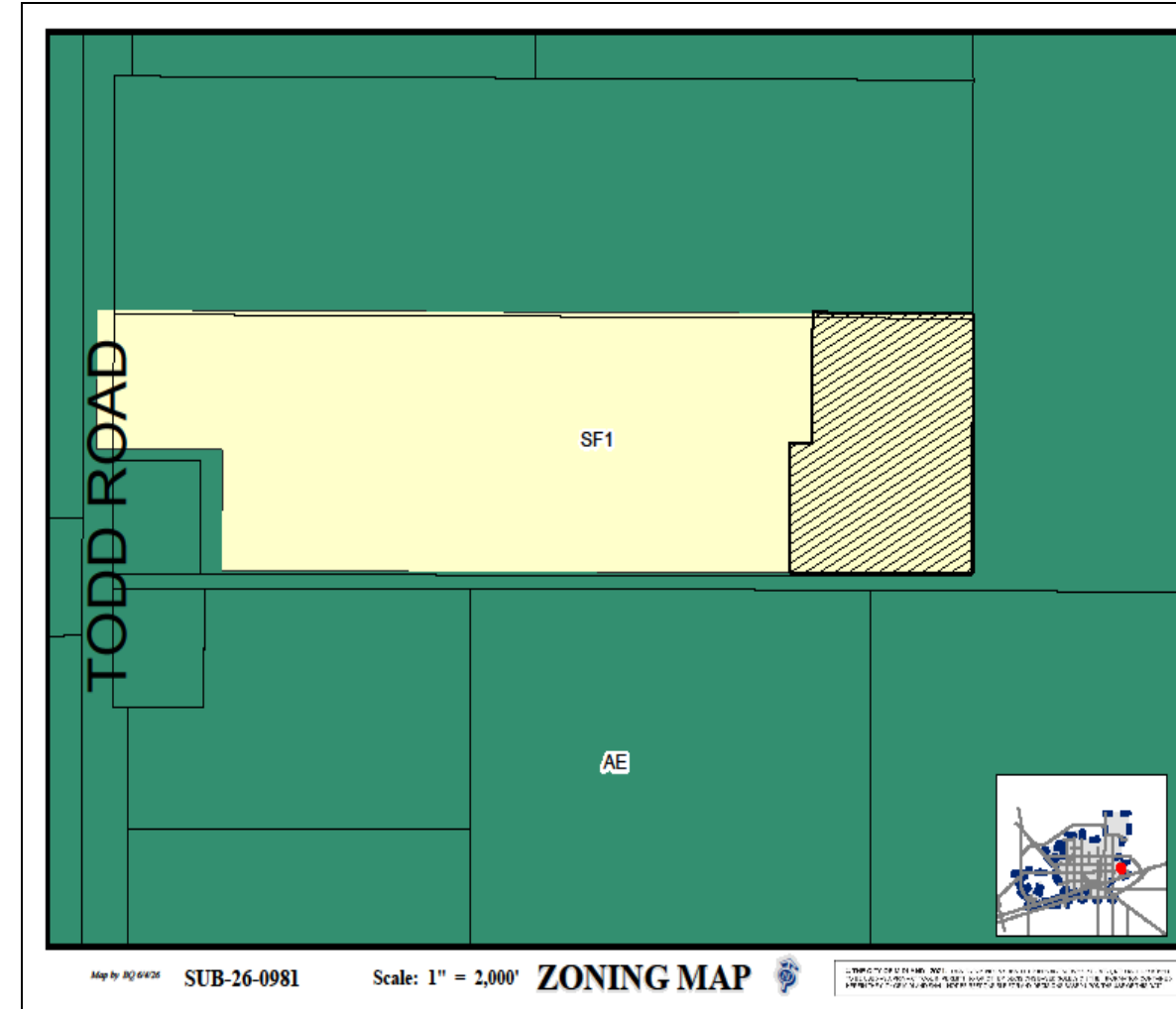
APPLICATION SUMMARY

- **Property Owner:** Jacked LP
- **Representative:** Ashlee Devine, with Maverick Engineering
- **Location:** 3300 Bragg Drive (Council District 2)
- **Reason for Request:** To subdivide a residential lot into two



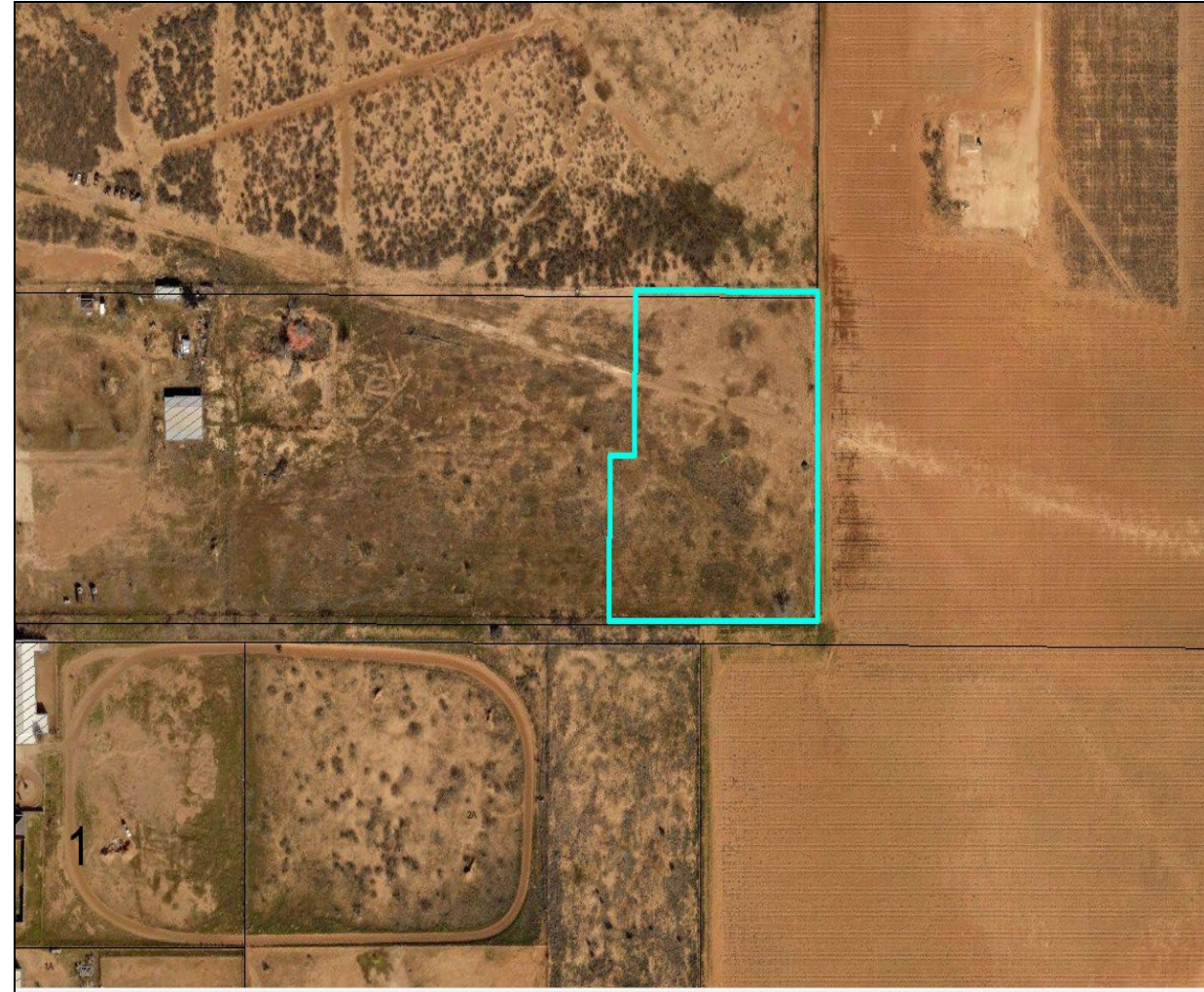
ZONING

- **Current Zoning:** SF-1, Single-Family Dwelling District
- **Surrounding Zoning:**
 - **North/South/East:** AE,
 - **West:** SF-1, Single-Family Dwelling District



LAND USE

- **Current Use:** Residential
- **Surrounding Uses:**
 - **North/South/East:** Vacant land
 - **West:** Residential
- **Proposed Use:** Residential

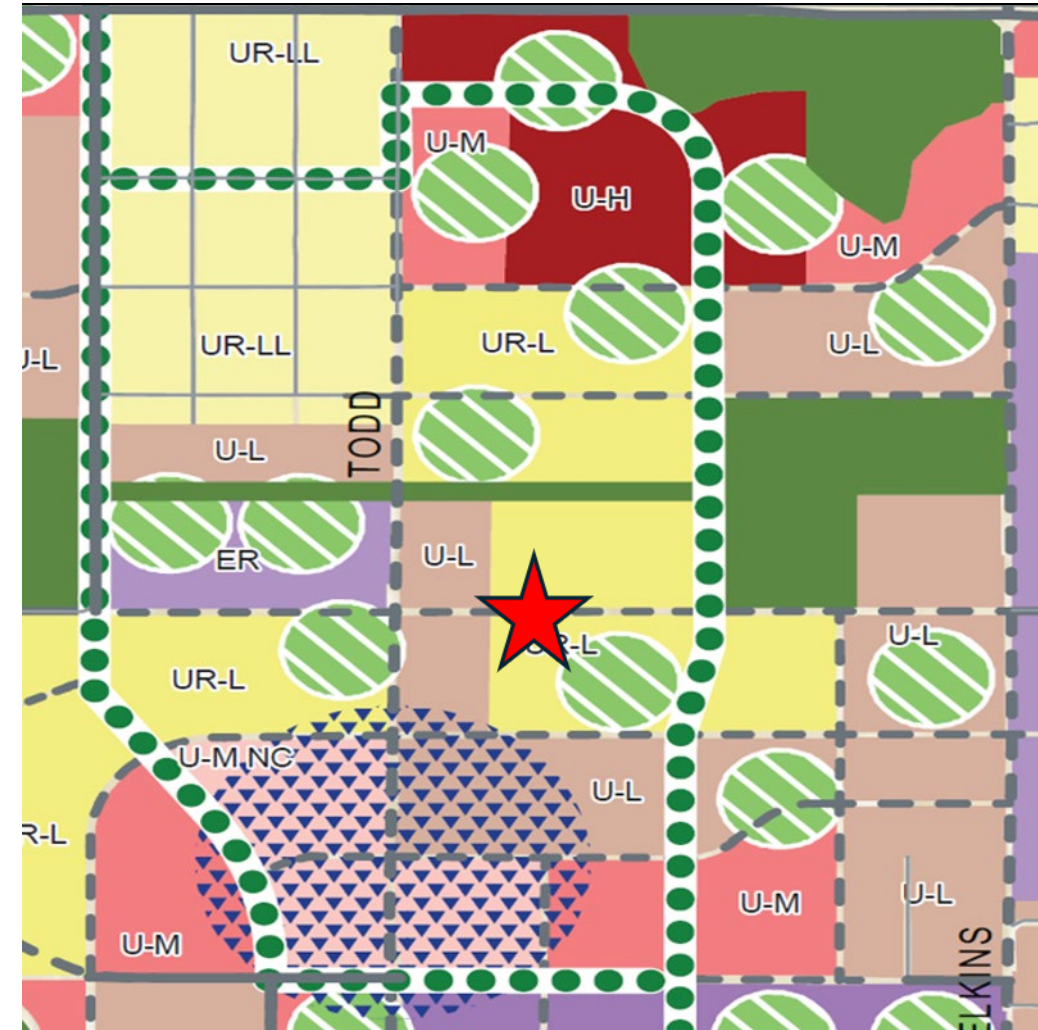




On Todd Road, Looking East

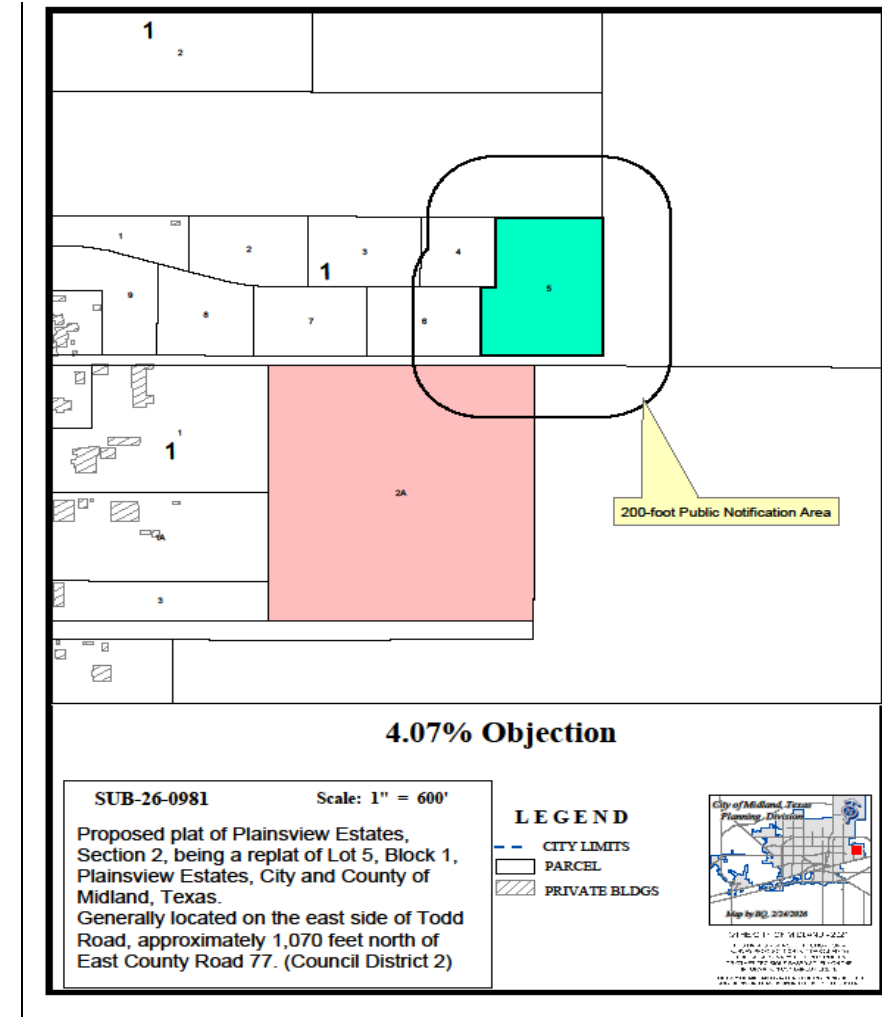
COMPREHENSIVE PLAN

- **Land Use Designation:** Urban Low, (U-L)
- **Supported Uses:** Relatively low-density housing. A mix of complementary uses includes mostly single-family homes, with some attached, townhomes, and small multi-family projects.



OBJECTIONS

- 1 objection has been received resulting in a 4.07% objection percentage. Supermajority vote is not required for approval.
- Protestors voiced concerns about water availability.



STAFF'S RECOMMENDATION

- One objections was received.
- Staff recommends approval of this request, subject to the following condition:
 - A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 11.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Beatriz Quezada, Planner
Subject: Hold a public hearing and consider a request by Chase Gardaphe for a Specific Use Designation without Term for a Manufactured Home Park on a 35.05-acre tract of land out of Section 25, Block 39, T-1-S, T&P RR Co Survey, City and County of Midland, Texas. (Generally located on the west side of North Fairgrounds Road, approximately 650 feet north of East Cuthbert Avenue.)

Purpose:

The applicant, Chase Gardaphe, is requesting a Specific Use Permit without Term, for a Manufactured Home Park.

Recommended Action:

Consider approval of the applicant's request

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

MH, Manufactured Housing District

Surrounding Zoning and Land Use:

The subject property is currently vacant and zoned MH, Manufactured Housing District. The property to the north is zoned C, Commercial District, and contains a senior living apartment facility. To the east are the City's Animal Shelter, which is zoned TP, Technology Park District, and a manufactured home park zoned AE, Agricultural Estate District. Properties to the south are developed with commercial facilities and are zoned C, Commercial District. To the west there is vacant land, which is zoned PD, Planned Development District for a Housing Development.

Analysis:

The subject property recently underwent a zoning change from PD, Planned Development District for a Housing Development, to MH, Manufactured Housing District. Applicant Chase Gardaphe is requesting approval of a Specific Use Designation (SUD), without term, to allow the operation of a Manufactured Home Park.

Section 11-1-4.04 of the Midland City Code establishes development standards for Manufactured Home Parks, including maximum density, minimum space sizes, parking requirements, storage requirements, recreation areas, and street design standards.

The request before City Council is not the establishment of a new manufactured home park development pattern, but rather the continuation and modification of an existing entitlement that has governed the property for several years. The applicant is requesting that many of the development standards previously approved by City Council through the existing SUD remain in place, while reducing the overall development intensity currently permitted on the site.

The proposed site plan includes 263 manufactured home spaces of varying dimensions. The applicant has stated that the park will consist exclusively of single-wide and double-wide manufactured homes, with no more than one manufactured home permitted on each space. By comparison, the previously approved SUD allowed 284 spaces and permitted up to three manufactured homes on certain individual spaces.

The most significant change relates to density. City Code permits a maximum density of seven manufactured homes per acre, while the existing SUD permits up to 12 units per acre. The applicant is proposing a maximum density of eight units per acre. Although this remains one unit per acre above the density otherwise permitted by City Code, it represents a reduction from the density currently authorized under the existing SUD. As proposed, the development would be approximately 33 percent less dense than what is presently entitled on the property.

The property is designated as Urban-Medium (U-M). The U-M designation calls for a mix of housing types along with commercial, office, and service uses. With the intent of the mix housing to include single-family dwelling and townhomes. The surrounding use does support the proposed use, as there is a manufactured home park east of the subject property.

Should the SUD be approved, the applicant will be required to obtain and maintain a Type I Manufactured Home Park License as required by Section 11-1-4.04 of the Midland City Code prior to operation of the park.

In summary, the proposed SUD largely retains development standards previously approved by City Council through the existing Manufactured Home Park SUD while reducing the maximum density, limiting occupancy to one manufactured home per space, and decreasing the overall development intensity currently permitted on the property.

This project has been circulated to all City departments for review. Below are the department comments.

Fire: (Approved)

No comments or objections.

Engineering: (Approved)

No objection. [For Applicant's Information Only.]

Transportation: (Approved)

No objection. [For the Applicant's information only.]

Building Code: (Approved)

No Objections.

Planning:

There is a 20' utility easement the crosses the property and no structures should be constructed whether it is temporary or permanent.

The applicant requests approval of a Specific Use Designation (SUD), without term, for a Manufactured Home Park, subject to the following conditions:

Conditions:

- A. **The development of the Establishment shall significantly conform to provided Site Plan, which is attached hereto as Exhibit B and incorporated herein.**

- B. **The maximum capacity shall not exceed 263 manufactured home units.**

- C. **The maximum density shall not exceed eight manufacturer home units per acre.**

- D. **That the Establishment's front yard setback shall be at least 10 feet from property line.**

- E. **That each manufactured home unit shall be located at least 10 feet from each other manufactured home unit.**

- F. **The trash dumpsters shall be appropriately screened and of an adequate quantity to handle the refuse generated by the Establishment's occupants.**

- G. **That the width of each internal street shall be a minimum of 26 feet.**

- H. **Internal sidewalks shall not be required.**

- I. **That storage facilities for each manufactured home space shall not be required.**

- J. **That the internal streets, play areas, food truck court, and office space shall be illuminated in accordance with applicable Midland City Code requirements, and the lighting shall be maintained in a working condition.**

- K. **That a manager or responsible attendant shall be in charge of keeping the Establishment, its facilities, and equipment in a clean, orderly, and sanitary condition, and said manager or attendant shall be answerable, with the licensee, for any violation of the provisions of the Midland City Code.**

- L. **That the operator of the Establishment is required to maintain a current Type I license and pay the annual license fees associated with such license.**

- M. **That the development and management of the Establishment, unless otherwise stated herein, shall conform to the applicable regulations of Sections 5-5-1 through 5-5-15 of the Midland City Code.**

- N. **That the landscaping shall conform to the regulations set forth in Title XI, Chapter 9 of the City Code.**

Letters of Objection:

As of June 12, 2026, staff has not received any letters of objection.


Attachments:

- A. SUDwo-26-0052, Combined Files
- B. P&Z - - Stone Bridge Mobile Home Park SUD

Beatriz Quezada, Development Services
Landon Ochoa, Development Services


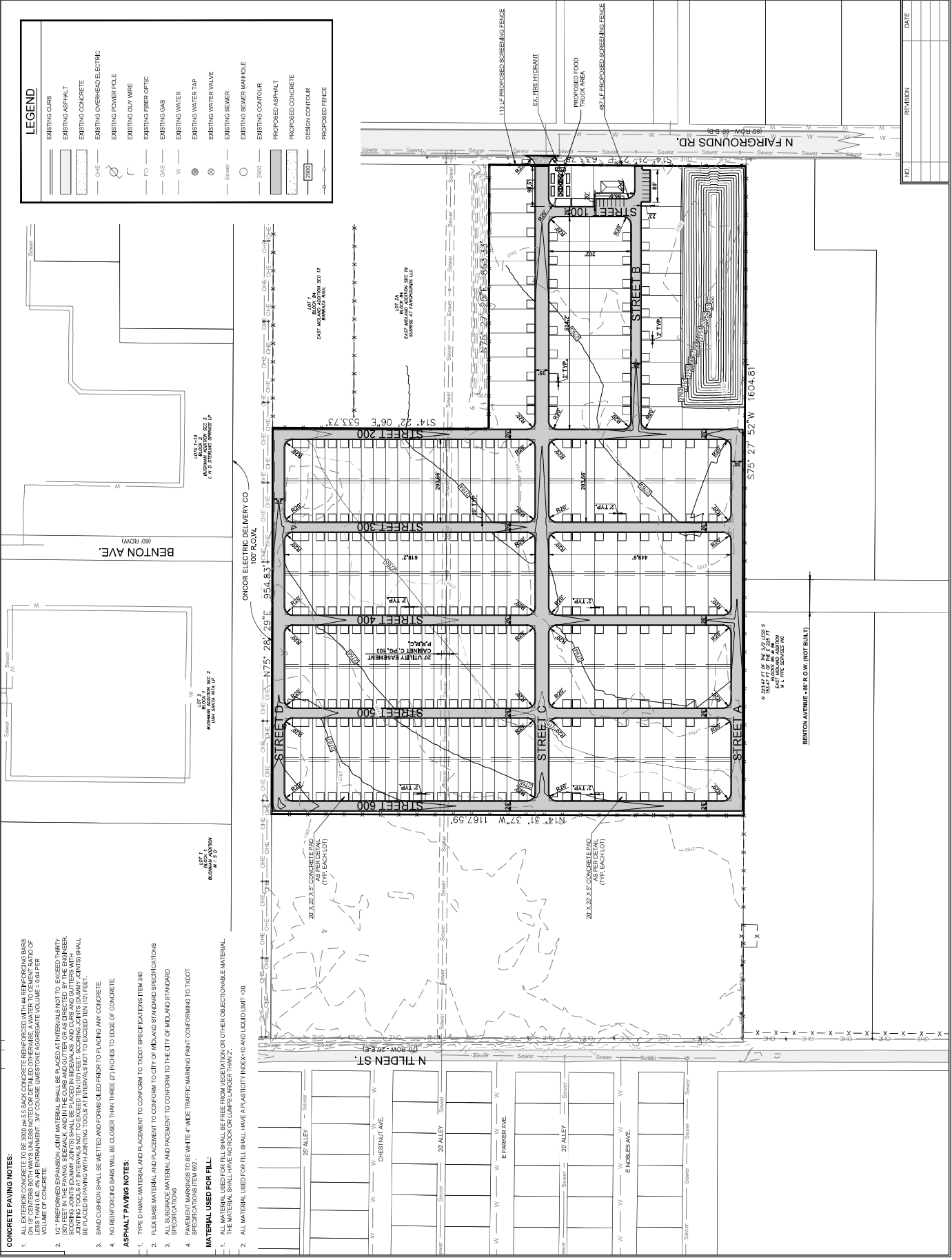
Created/Initiated - 6/10/2026
Final Approval - 6/12/2026

STONE BRIDGE MOBILE HOME PARK
 MIDLAND, TX
 PAVING & GRADING SITE PLAN



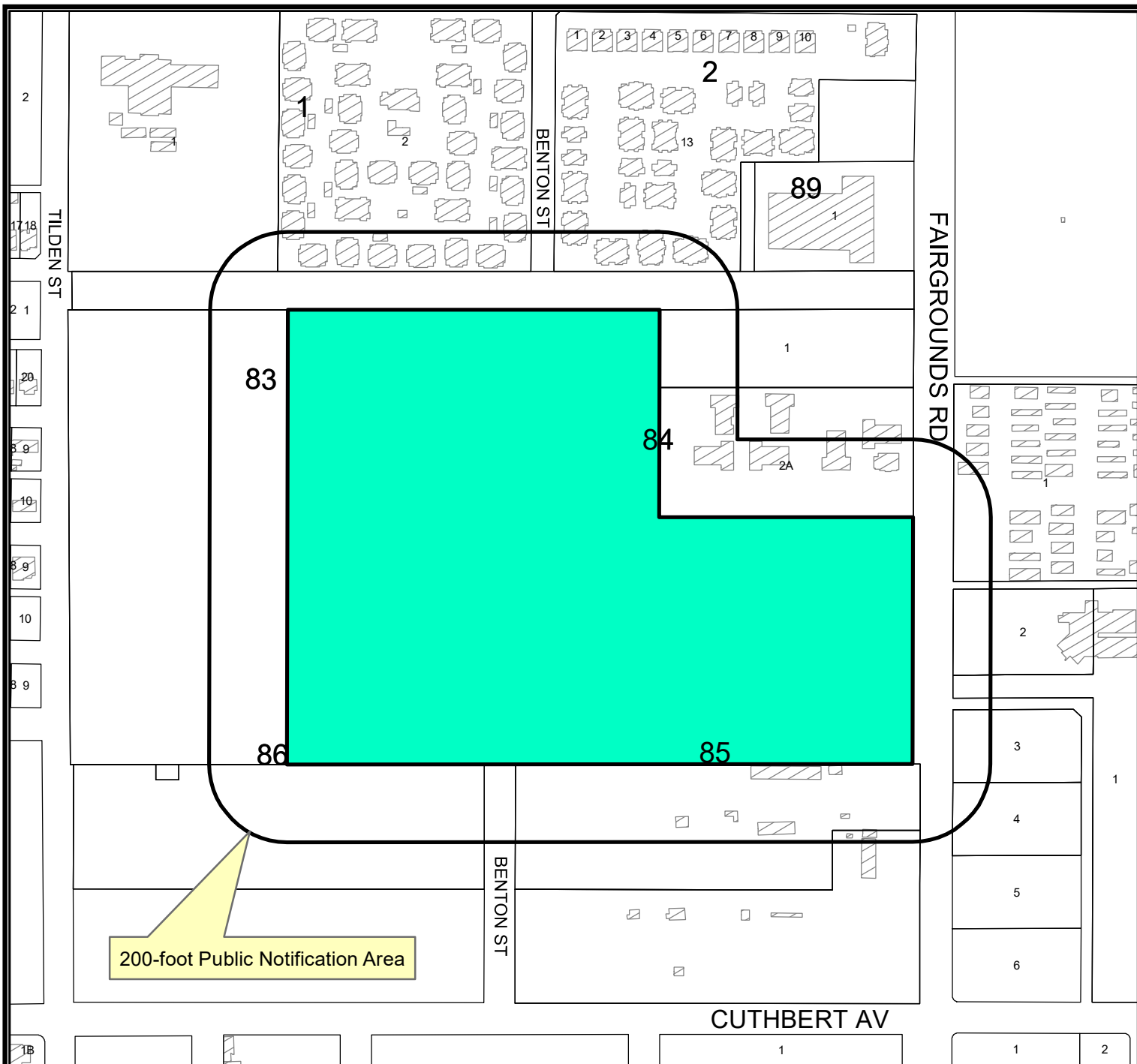
NEWTON ENGINEERING, PC
 4601 N. TEXAS ROAD, SUITE 170
 MIDLAND, TEXAS 79707
 (432) 770-0499
 F-103868
 (432) 936-0707

GRAPHIC SCALE
 0 100 200
 (1" = 100')

- CONCRETE PAVING NOTES:**
1. ALL CONCRETE SHALL BE PLACED IN 8" SLABS ON 4" SAND AS SET BACK FROM CURB WITH 10% REINFORCING BARS ON 18" SPACINGS. REINFORCING BARS SHALL BE LAPPED OR WELDED. A MINIMUM OF 10% OF THE VOLUME OF CONCRETE SHALL BE COURSE LIMESTONE AGGREGATE. A MINIMUM OF 10% OF THE VOLUME OF CONCRETE SHALL BE COURSE LIMESTONE AGGREGATE. A MINIMUM OF 10% OF THE VOLUME OF CONCRETE SHALL BE COURSE LIMESTONE AGGREGATE.
 2. PREPARED EXPANSION JOINT MATERIAL SHALL BE PLACED AT INTERVALS NOT TO EXCEED THIRTY FEET. JOINTS SHALL BE PLACED IN SEAMLESS AND CURB AND GUTTERS WITH REINFORCING BARS. JOINTS SHALL BE PLACED IN SEAMLESS AND CURB AND GUTTERS WITH REINFORCING BARS. JOINTS SHALL BE PLACED IN SEAMLESS AND CURB AND GUTTERS WITH REINFORCING BARS.
 3. SAND CURBCH shall be NETTED AND COMB OILED PRIOR TO PLACING ANY CONCRETE.
 4. REINFORCING BARS WILL BE CLOSER THAN THREE (3) INCHES TO EDGE OF CONCRETE.
- ASPHALT PAVING NOTES:**
1. TYPE D-HMAC MATERIAL AND PLACEMENT TO MEET TOOTH SPECIFICATIONS ITEM 140
 2. FILL BASE MATERIAL AND PLACEMENT TO CONFORM TO CITY OF MIDLAND STANDARD SPECIFICATIONS
 3. ALL MATERIAL AND PLACEMENT TO CONFORM TO THE CITY OF MIDLAND STANDARD SPECIFICATIONS
 4. PAVEMENT MARKINGS TO BE WHITE 4" WIDE TRAFFIC MARKING PAINT CONFORMING TO TOOTH SPECIFICATIONS ITEM 822
- MATERIAL USED FOR FILL:**
1. ALL MATERIAL USED FOR FILL SHALL BE FREE FROM VEGETATION OR OTHER OBJECTIONABLE MATERIAL.
 2. ALL MATERIAL USED FOR FILL SHALL HAVE A PLASTICITY INDEX (PI) AND LIQUID LIMIT (LL) <math>PI < 10</math>.

NO.	REVISION	DATE



Location Map

SUDwo-26-0052

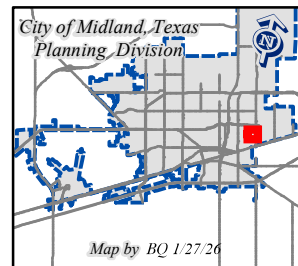
Scale: 1" = 800'

Consider a request by Chase Gardaphe for a Specific Use Designation without Term for a Manufactured Home Park on a 35.05-acre tract of land out of Section 25, Block 39, T-1-S, T&P RR Co Survey, City and County of Midland, Texas.

Generally located on the west side of North Fairgrounds Road, approximately 650 feet north of East Cuthbert Avenue. (Council District 2)

LEGEND

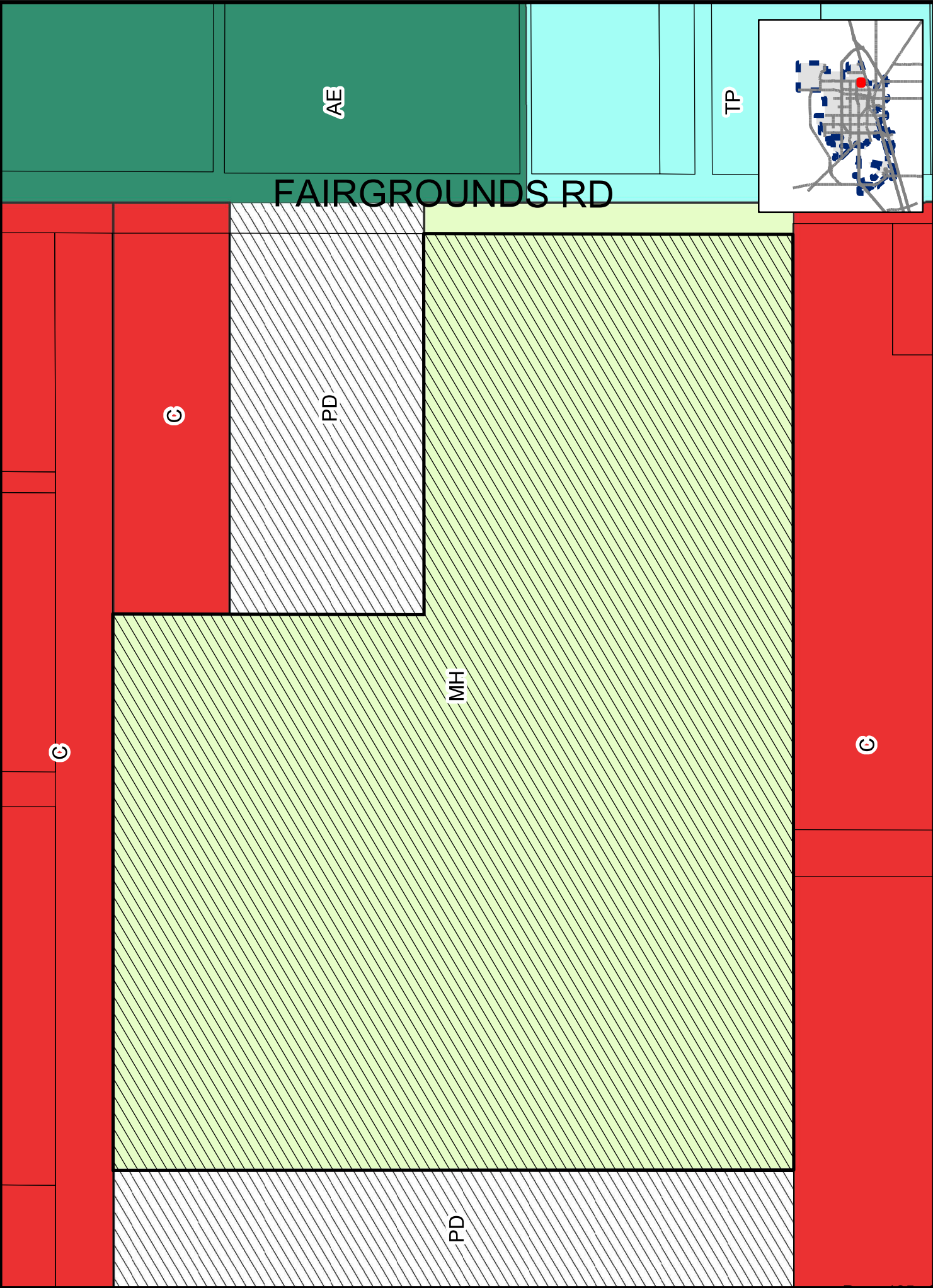
- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND, 2021. THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



ZONING MAP

Scale: 1" = 2,000'

SUDwo-26-0052

Map by: BQ 5.8.26



FAIRGROUNDS RD



84

85

83

86

ST

BE

TILDEN ST





ITEM

SPECIFIC USE DESIGNATION

STONE BRIDGE MOBILE HOME PARK

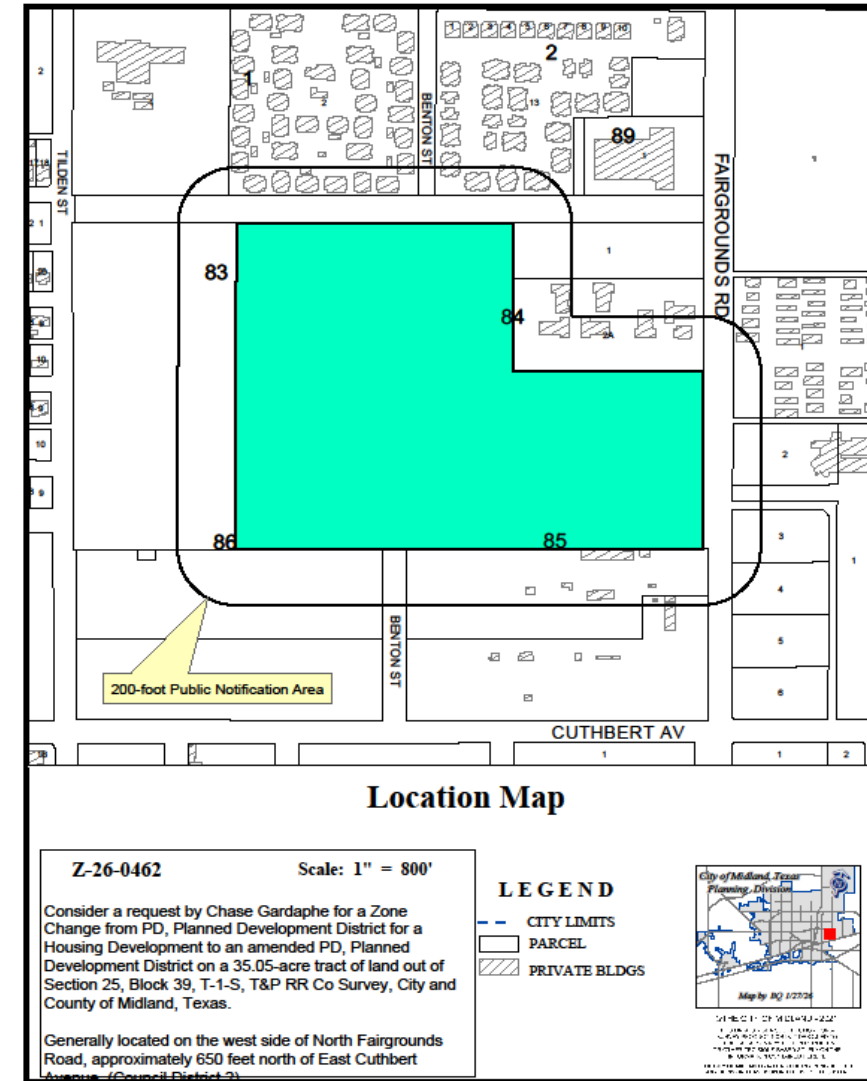


Visit Our Website

MIDLANDTEXAS.GOV

APPLICATION SUMMARY

- **Applicant/Property Owner:** Chase Gardaphe
- **Location:** Generally located on the west side of North Fairgrounds Road, approximately 650 feet north of East Cuthbert Avenue. (District 2)
- **Reason for Request:** To update the existing SUD



CONCRETE PAVING NOTES:

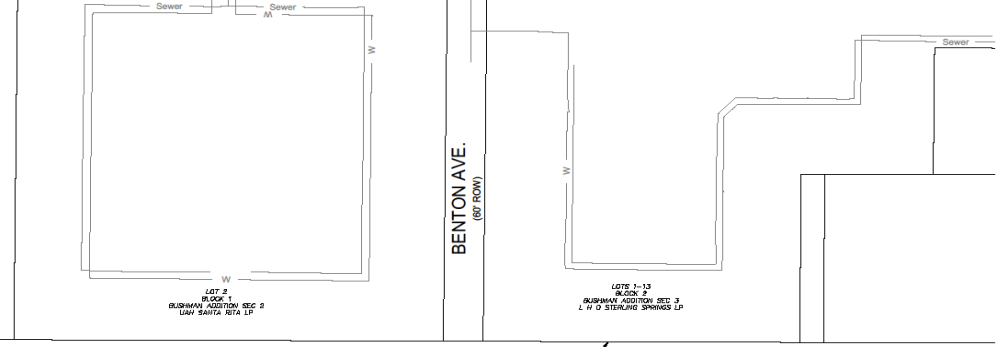
1. ALL EXTERIOR CONCRETE TO BE 3000 psi 5.0 SACK CONCRETE REINFORCED WITH #4 REINFORCING BARS ON 18" CENTERS BOTH WAYS UNLESS NOTED OR DETAILED OTHERWISE. A WATER TO CEMENT RATIO OF LESS THAN 0.40, 4% AIR ENTRAINMENT, 3/4" COURSE LIMESTONE AGGREGATE VOLUME = 0.64 PER VOLUME OF CONCRETE.
2. 1/2" PREFORMED EXPANSION JOINT MATERIAL SHALL BE PLACED AT INTERVALS NOT TO EXCEED THIRTY (30) FEET IN THE PAVING, SIDEWALK, AND IN THE CURB AND GUTTER OR AS DIRECTED BY THE ENGINEER. SCORING JOINTS (DUMMY JOINTS) SHALL BE PLACED IN SIDEWALKS AND CURB AND GUTTERS WITH JOINTING TOOLS AT INTERVALS NOT TO EXCEED TEN (10) FEET. SCORING JOINTS (DUMMY JOINTS) SHALL BE PLACED IN PAVING WITH JOINTING TOOLS AT INTERVALS NOT TO EXCEED TEN (10) FEET.
3. SAND CUSHION SHALL BE WETTED AND FORMS OILED PRIOR TO PLACING ANY CONCRETE.
4. NO REINFORCING BARS WILL BE CLOSER THAN THREE (3") INCHES TO EDGE OF CONCRETE.

ASPHALT PAVING NOTES:

1. TYPE D HMAc MATERIAL AND PLACEMENT TO CONFORM TO TXDOT SPECIFICATIONS ITEM 340
2. FLEX BASE MATERIAL AND PLACEMENT TO CONFORM TO CITY OF MIDLAND STANDARD SPECIFICATIONS
3. ALL SUBGRADE MATERIAL AND PLACEMENT TO CONFORM TO THE CITY OF MIDLAND STANDARD SPECIFICATIONS
4. PAVEMENT MARKINGS TO BE WHITE 4" WIDE TRAFFIC MARKING PAINT CONFORMING TO TXDOT SPECIFICATIONS ITEM 802.

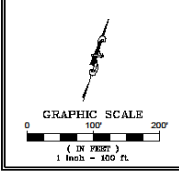
MATERIAL USED FOR FILL:

1. ALL MATERIAL USED FOR FILL SHALL BE FREE FROM VEGETATION OR OTHER OBJECTIONABLE MATERIAL. THE MATERIAL SHALL HAVE NO ROCK OR LUMPS LARGER THAN 2".
2. ALL MATERIAL USED FOR FILL SHALL HAVE A PLASTICITY INDEX <10 AND LIQUID LIMIT <30.

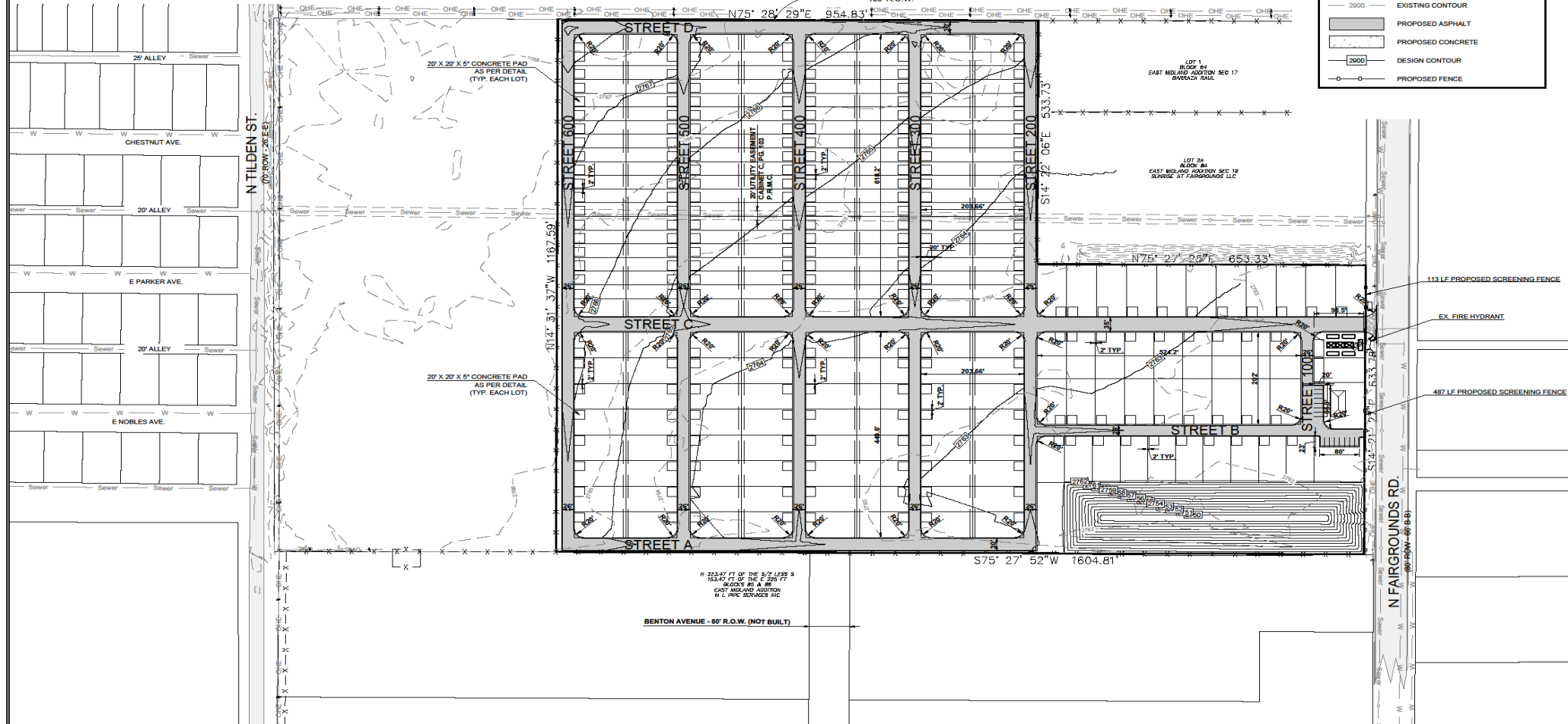


LEGEND

- EXISTING CURB
- EXISTING ASPHALT
- EXISTING CONCRETE
- EXISTING OVERHEAD ELECTRIC
- EXISTING POWER POLE
- EXISTING GUY WIRE
- EXISTING FIBER OPTIC
- EXISTING GAS
- EXISTING WATER
- EXISTING WATER TAP
- EXISTING WATER VALVE
- EXISTING SEWER
- EXISTING SEWER MANHOLE
- EXISTING CONTOUR
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- DESIGN CONTOUR
- PROPOSED FENCE



NEWTON ENGINEERING, P.C.
 2000 L. 8th St.
 F-15806
 Corpus, Texas 78401
 (409) 855-0707
 4500 A Santa Rosa Blvd. Cr.
 Midland, Texas 79707
 (409) 777-0240



STONE BRIDGE MOBILE HOME PARK
 MIDLAND, TX

PAVING & GRADING SITE PLAN

3

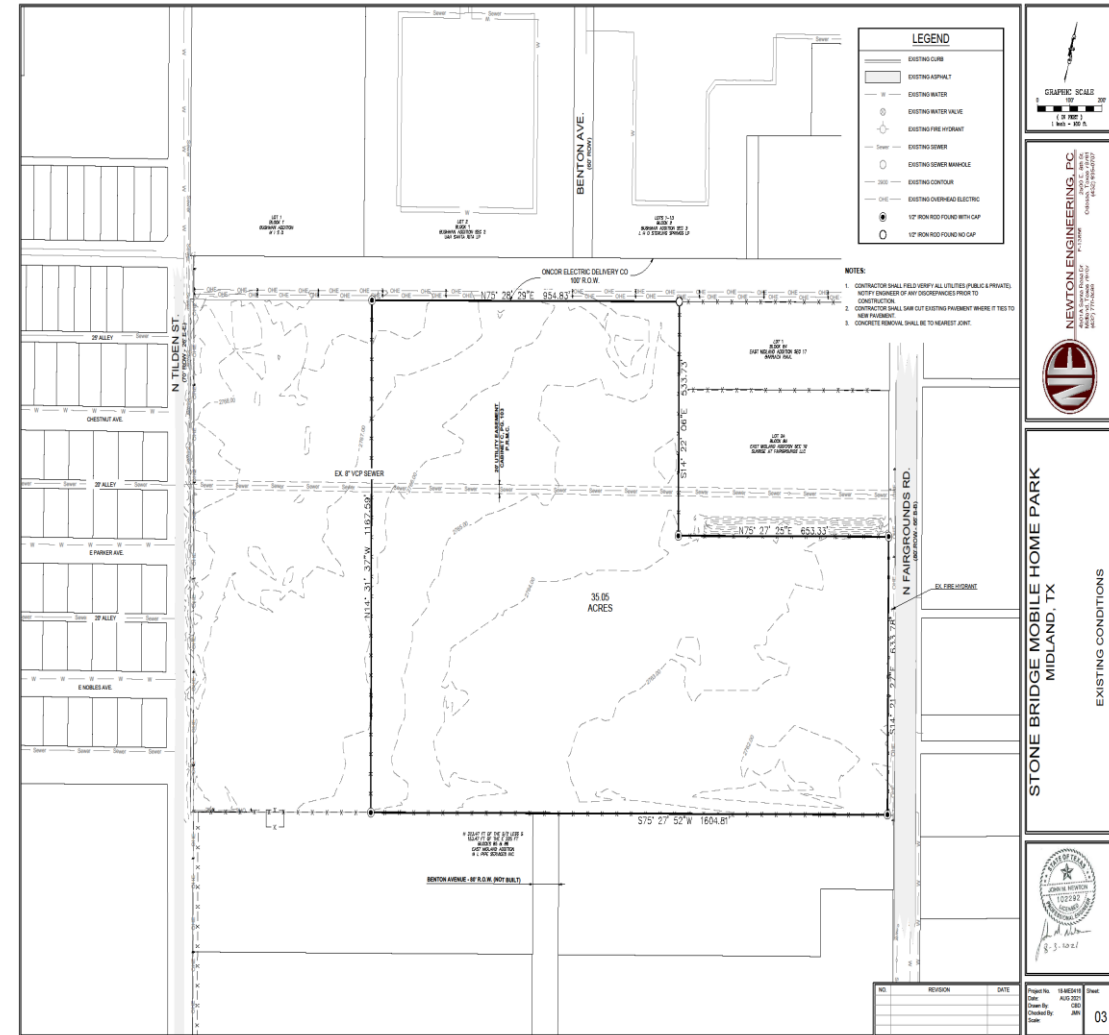
NO.	REVISION	DATE

Project No. 18-MED410
 Date: AUG 2021
 Drawn By: CBO
 Checked By: CBO
 Scale: As Shown

Sheet: 140 of 3124

DETAILS OF REQUEST






- 263 total spaces
 - 160 spaces: ~30' × 101'
 - 18 spaces: ~58' × 101'
 - 11 spaces: ~59' × 112'
 - 64 spaces: ~56' × 101'
 - 10 spaces: ~55' × 101'



ZONING REQUIREMENT COMPARISON

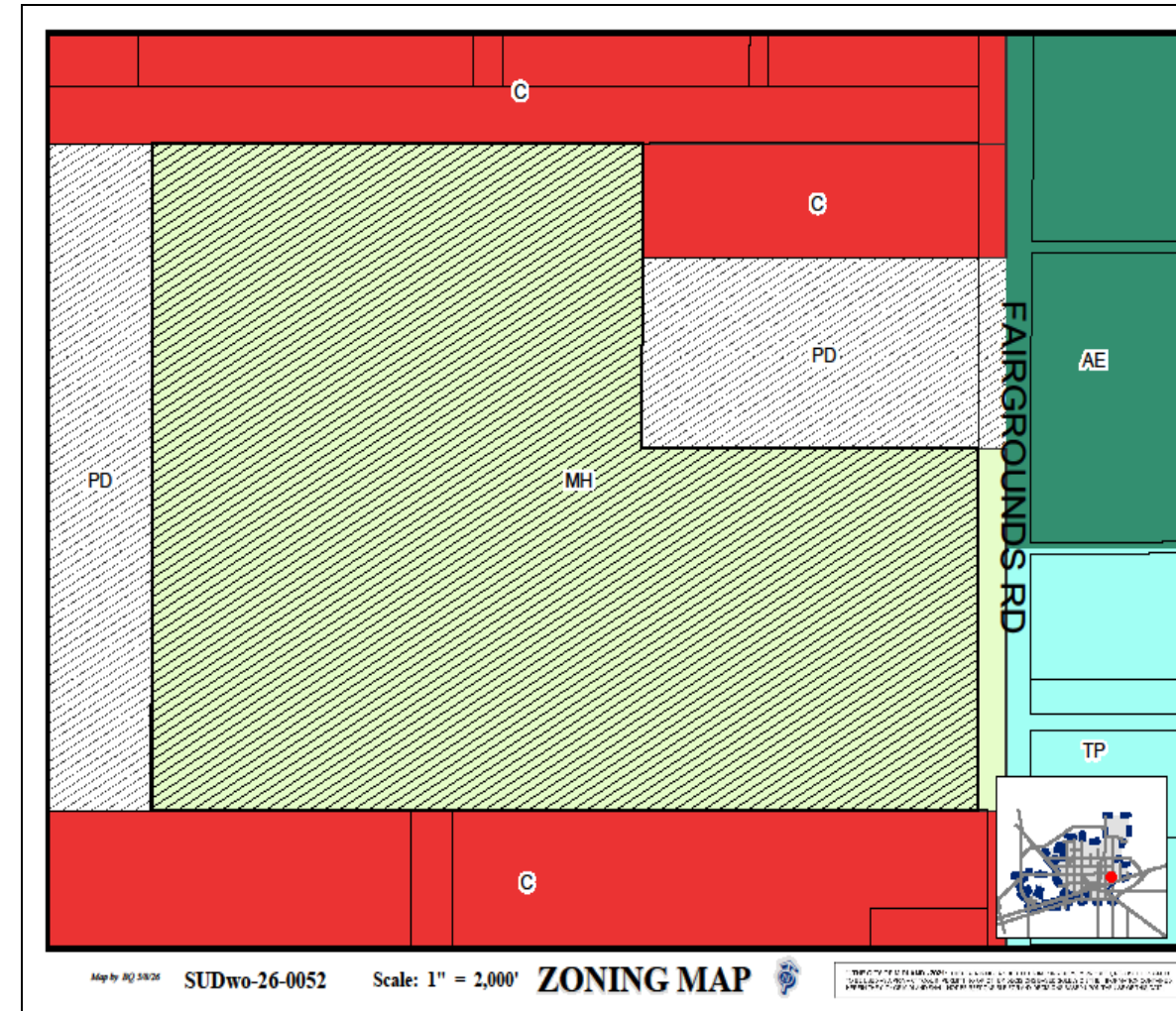
 **PROJECT:** Mobile Home Park Development

 **JURISDICTION:** City of Midland, Texas

REQUIREMENT	STANDARD City Code (11-1-4.04)	CURRENT SUD Ordinance 9953	PROPOSED NEW SUD Ordinance (Draft)
 Site Plan Requirements	Must include boundaries, utilities, topography, fire mains, etc.	Must generally match approved Exhibit B site plan	Must generally match approved Exhibit B site plan
 Maximum Number of Units	No fixed cap; based on density and acreage	Max 600 mobile home units	Max 263 manufactured home units
 Density	Max 7 units per acre	Max 12 units per acre	Max 8 units per acre
 Front Setbacks / Space Separation	Typically 25' front setback in MH districts	10' front setback and 10' between units	10' front setback and 10' between units
 Storage Requirement	120 cubic feet required per unit	No storage required	No storage required
 Parking / Internal Streets	2 parking spaces per unit. Streets must meet city driveway/walkway specs.	Internal streets minimum 26' wide	Internal streets minimum 26' wide
 Sidewalks	Required per city driveway/walkway specs.	Internal sidewalks not required	Internal sidewalks not required
 Recreation Area	8% of total site; min. 50' dimension	Play areas, food truck court, and office space shall be illuminated.	Play areas and food truck court provided as shown on site plan; must be illuminated.
 License Requirement	Type I (contained facilities) or Type II	Operator required to maintain a Type I license.	Operator required to maintain a Type I license.
 Trash / Dumpsters	Must meet city sanitation standards.	Dumpsters must be appropriately screened and of adequate quantity.	Dumpsters must be appropriately screened and of adequate quantity.
 Landscaping	Must comply with Title XI, Chapter 9 of City Code.	Landscaping shall conform to Title XI, Chapter 9 of the City Code.	Landscaping shall conform to Title XI, Chapter 9 of the City Code.
 Management Requirements	Licensee responsible for site upkeep.	Manager/attendant must be in charge of keeping facilities clean and sanitary .	Manager/attendant must be in charge of keeping facilities clean and sanitary .
 Minimum Space Size	Minimum 3,500 sq. ft. Dimensions at least 40' (narrow) x 80' (long)	101' (length) x 55' (width)	<ul style="list-style-type: none"> • 160 spaces – approx. 30.91' x 101.83' • 18 spaces – approx. 58.24' x 101' • 11 spaces – approx. 59.39' x 112.39' • 64 spaces – approx. 56.2' x 101.83' • 10 spaces – approx. 55' x 101'

ZONING

- **Current Zoning:** MH, Manufactured Housing District
- **Surrounding Zoning:**
 - **North/South:** C, Commercial District
 - **East:** AE, Agricultural Estate District & TP, Technology Park District
 - **West:** PD, Planned Development for a Housing Development



LAND USE

- **Current Use:** Vacant
- **Surrounding Uses:**
 - **North:** Senior Living Apartment
 - **South:** Commercial
 - **East:** Animal Control Shelter & Manufacture Home Park
 - **West:** Vacant
- **Proposed Use:** Manufacture Home Park

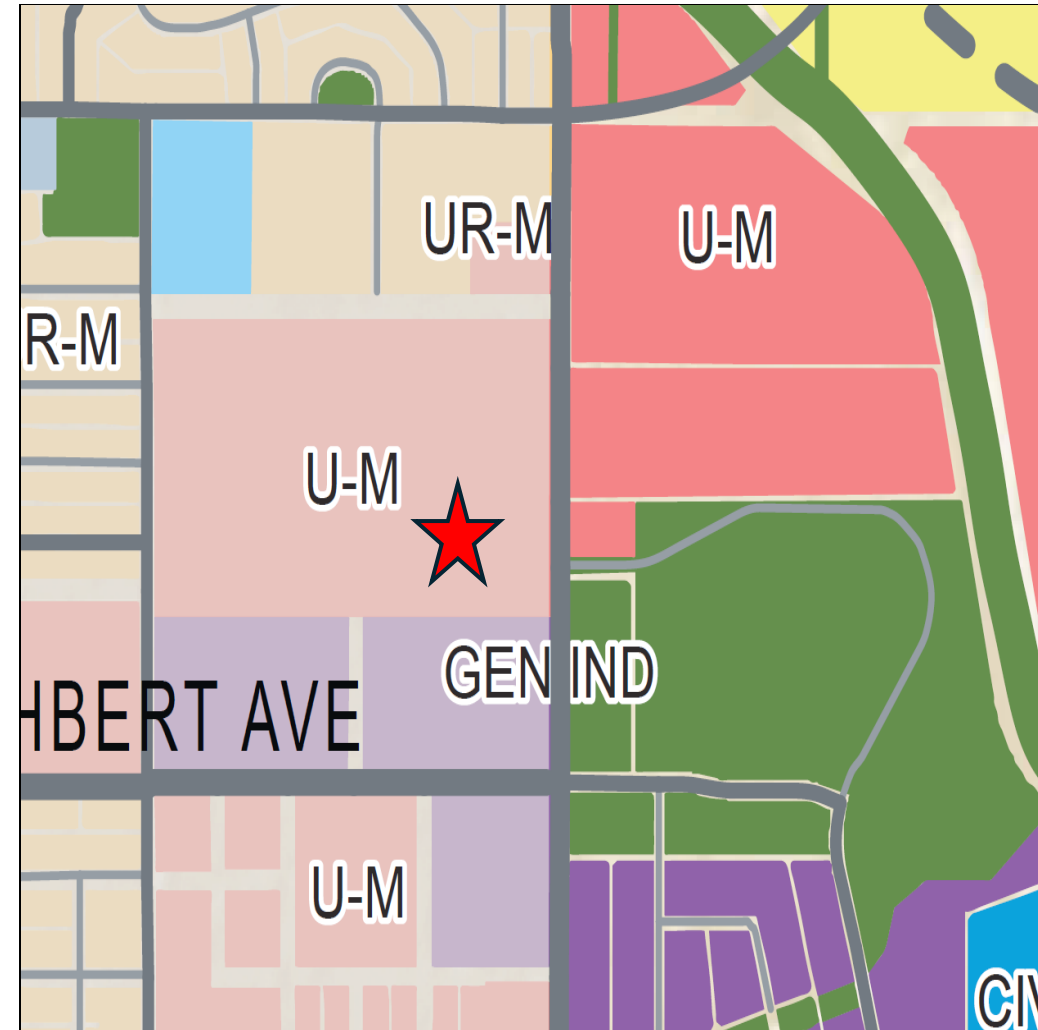




On North Fairgrounds, Looking West

COMPREHENSIVE PLAN

- **Land Use Designation:** Urban-Medium (U-M)
- **Supported Uses:** A mix of housing types along with commercial, office, and service uses



RELATED ITEMS

- A zone change was recently approved to change the zoning of the property to MH, Manufactured Housing District.



APPLICANT'S REQUEST

- No objections were received.
- The applicant requests approval of the SUD, without term, for a Manufactured Home Park, subject to the following conditions:
 - A. The development of the Establishment shall significantly conform to provided Site Plan, which is attached hereto as Exhibit B and incorporated herein.
 - B. The maximum capacity shall not exceed 263 manufactured home units.
 - C. The maximum density shall not exceed eight manufacturer home units per acre.



APPLICANT'S REQUEST

- D. That the Establishment's front yard setback shall be at least 10 feet from property line.
- E. That each manufactured home unit shall be located at least 10 feet from each other manufactured home unit.
- F. The trash dumpsters shall be appropriately screened and of an adequate quantity to handle the refuse generated by the Establishment's occupants.
- G. That the width of each internal street shall be a minimum of 26 feet.
- H. Internal sidewalks shall not be required.

12



APPLICANT'S REQUEST

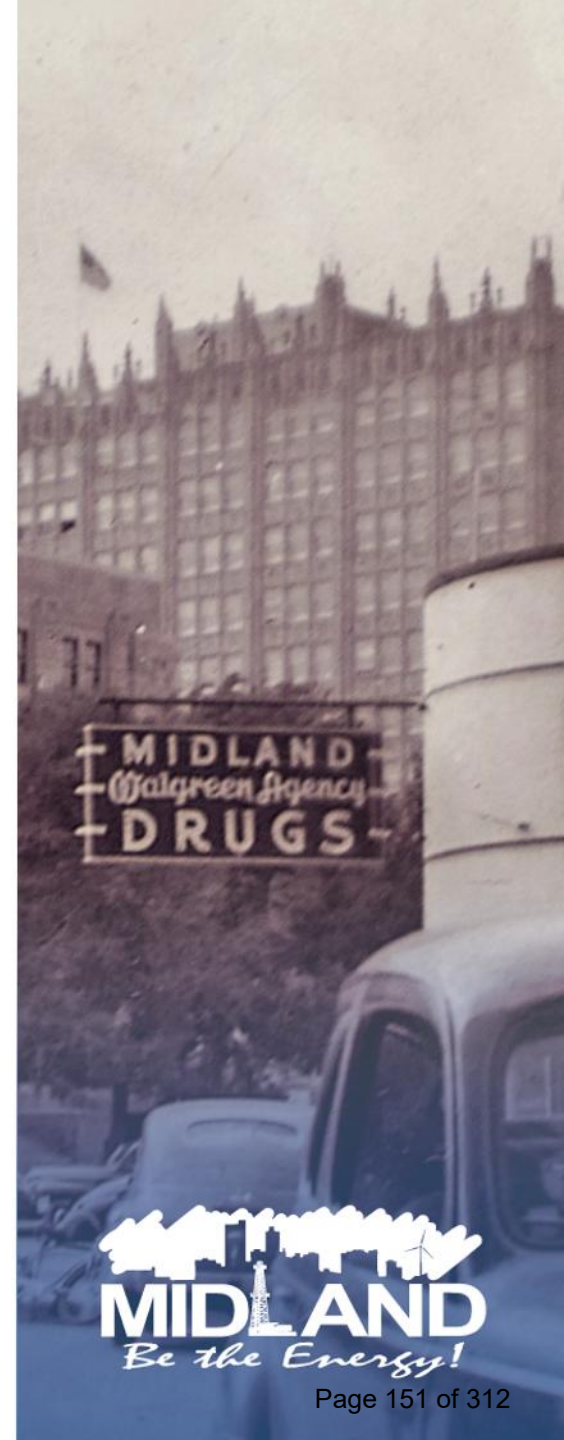
- I. That storage facilities for each manufactured home space shall not be required.
- J. That the internal streets, play areas, food truck court, and office space shall be illuminated in accordance with applicable Midland City Code requirements, and the lighting shall be maintained in a working condition.
- K. That a manager or responsible attendant shall be in charge of keeping the Establishment, its facilities, and equipment in a clean, orderly, and sanitary condition, and said manager or attendant shall be answerable, with the licensee, for any violation of the provisions of the Midland City Code.



APPLICANT'S REQUEST

- L. That the operator of the Establishment is required to maintain a current Type I license and pay the annual license fees associated with such license.
- M. That the development and management of the Establishment, unless otherwise stated herein, shall conform to the applicable regulations of Sections 5-5-1 through 5-5-15 of the Midland City Code.
- N. That the landscaping shall conform to the regulations set forth in Title XI, Chapter 9 of the City Code.

14



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 12.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Lori Elliott, Planner
Subject: Hold a public hearing and consider a Preliminary Plat of Southern Addition, Section 37, being a replat of Lots 13 through 18, and the south half of previously vacated 20' alley (Ordinance 9535), Block 143, Southern Addition, City and County of Midland, Texas. (Generally located at the northeast corner of the intersection of South Fort Worth Street and East Pennsylvania Avenue.)

Purpose:

Durn Henington, with Pennell Surveying, on behalf of Carl Englestad, is requesting to replat 6 lots into 3 lots on properties located at 607, 611, and 615 South Fort Worth Street. The applicant is replatting in order to obtain building permits for future residential construction.

Recommended Action:

Approve

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Details of Request:

Durn Henington, with Pennell Surveying, on behalf of Carl Englestad, is requesting to replat 6 lots into 3 lots on properties located at 607, 611, and 615 South Fort Worth Street. The applicant is replatting in order to obtain building permits for future residential construction.

Current Zoning:

MH, Manufactured Housing District.

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved with Conditions)

IMPACT FEES: Okay as shown. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.]

PAVING: Fort Worth roadway is not built to City Standards, construct to City standards for entire platted frontage. Pennsylvania roadway okay as is. [For Applicant's Information Only.]

WATER: 6" water exists in Fort Worth Street, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 6" sewer exists alley east of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Drainage study not required for development into single family residences. Development considered infill. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.] No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and

local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No oil & gas issues.

GIS: (Approved)

Provide two sets of x-y coordinates and label one as POB. Section number can be 39. Bounds do not close, please check calls. Label surrounding subdivisions.

AT&T: (Approved)

No issues.

CRMWD: (Approved)

No comments or issues.

HEALTH DEPARTMENT: (Approved)

The lots are close to a public sewer line, no need for a septic systems.

PLANNING: (Approved with Conditions)

Add names of abutting property owners with lot/block/subdivision name. [11-2-3(A)1(d)]

Staff recommends approval of the Preliminary Plat of Southern Addition, Section 37, subject to condition A.

Condition:

A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

Attachments:

- A. P-26-2565, Southern Addition, Sec 37, Combined
- B. P&Z - - Southern Addition, Section 37 Preliminary

Lori Elliott, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026

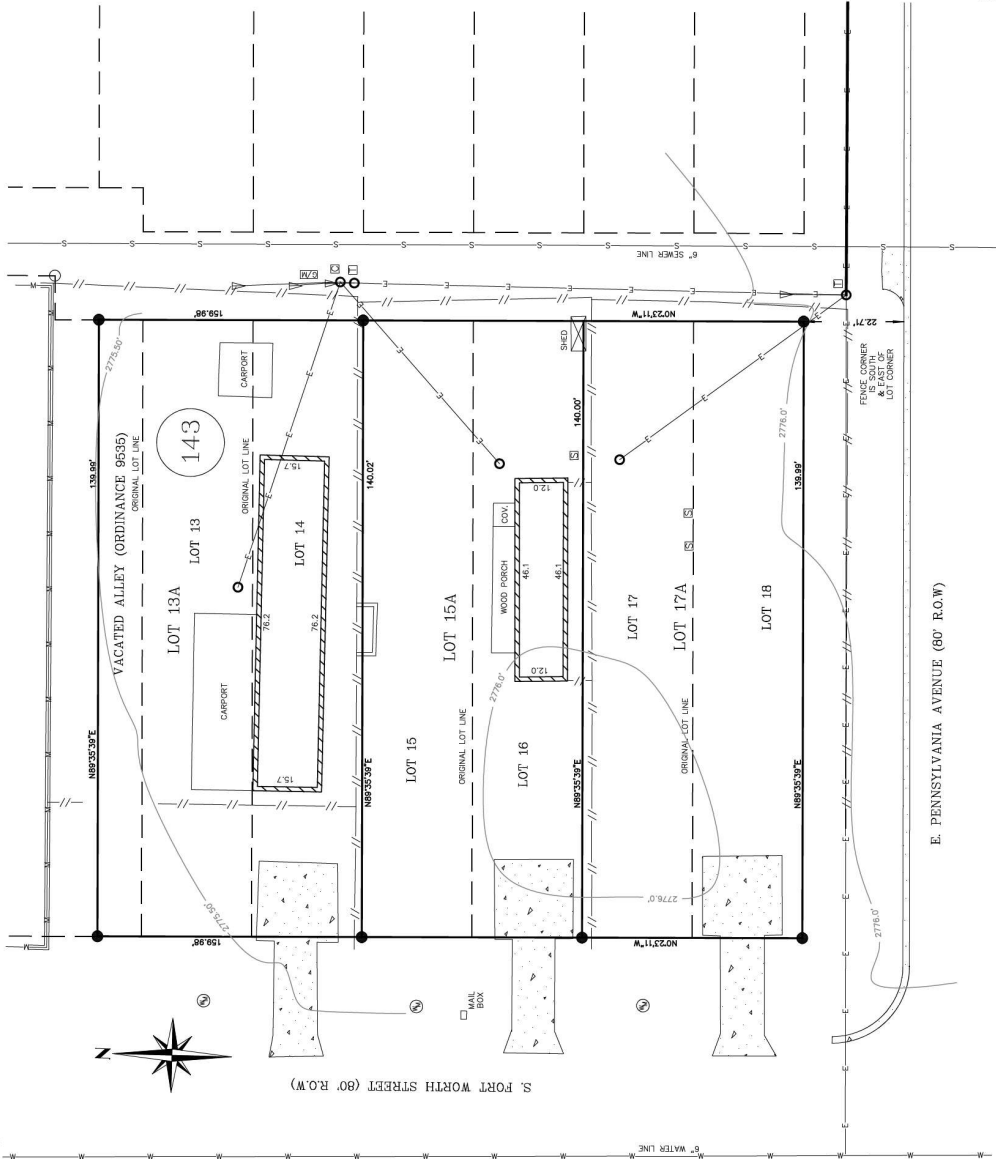
PRELIMINARY PLAT SOUTHERN ADDITION, SECTION 37

BEING A REPLAT OF LOTS THIRTEEN (13), FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) & EIGHTEEN (18), AND THE SOUTH HALF OF PREVIOUSLY VACATED 20' ALLEY (ORDINANCE 9535), BLOCK ONE HUNDRED FORTY-THREE (143), SOUTHERN ADDITION, CITY AND COUNTY OF MIDLAND, TEXAS



VICINITY MAP
(NOT TO SCALE)

- NOTICE:
- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND MAY REQUIRE THE INSTALLATION OF UTILITIES AND BUILDING PERMITS.
 - APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
 - COORDINATES, BEARINGS, DISTANCES AND AREAS SHOWN HEREON ARE LAMBERT GRID COORDINATES BASED ON THE "NAD 83 STATE PLANE SYSTEM," TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM 1983.
 - WITH REFERENCE TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR MIDLAND COUNTY, TEXAS, THE FLOOD HAZARD EFFECTIVE DATE: 09/16/05. THIS SURVEYOR HAS DETERMINED THAT THIS ADDITION IS NOT IN A SPECIAL FLOOD HAZARD ANNUAL CHANCE FLOODPLAIN. THIS DETERMINATION SHALL NOT CREATE A LIABILITY UPON SAID SURVEYOR.



UTILITY COMPANY'S CERTIFICATE
This plat has been checked for accessibility of utilities.

AT&T ENERGY
Print Name: _____

ONCOR ELECTRIC DELIVERY
Print Name: _____

ASTOUND
Print Name: _____

OPTIMUM
Print Name: _____

AT&T-TEXAS
Print Name: _____

OWNER'S CERTIFICATE
THE STATE OF TEXAS
COUNTY OF MIDLAND

I, CARL ENGLESTAD, am the record owner of LOTS THIRTEEN (13), FOURTEEN (14), FIFTEEN (15), SIXTEEN (16), SEVENTEEN (17) & EIGHTEEN (18), AND THE SOUTH HALF OF PREVIOUSLY VACATED 20' ALLEY (ORDINANCE 9535), BLOCK ONE HUNDRED FORTY-THREE (143), SOUTHERN ADDITION, CITY AND COUNTY OF MIDLAND, Texas, according to the plat or map filed of record under Volume 2, Page 2, Deed Records of Midland County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
That CARL ENGLESTAD, being the owner of the land shown on this plat designated as LOT THIRTEEN (13), LOT FOURTEEN (14), LOT FIFTEEN (15), LOT SIXTEEN (16), LOT SEVENTEEN (17) & LOT EIGHTEEN (18), and the SOUTH HALF OF PREVIOUSLY VACATED 20' ALLEY (ORDINANCE 9535), BLOCK ONE HUNDRED FORTY-THREE (143), SOUTHERN ADDITION, CITY AND COUNTY OF MIDLAND, Texas, do hereby dedicate to the public use forever the streets, alleys, easements, and other improvements shown on this plat, and do hereby authorize the City of Midland for garbage and trash collection and location and maintenance of trash containers and access thereto, and condition said statement that no construction shall commence on said lot or other improvements until the location of said containers therewith have been selected and approved by the Director of Utilities.

WITNESS my hand at _____ this the _____ day of _____, 2026.

CARL ENGLESTAD
ACKNOWLEDGMENT
OWNER
THE STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, CARL ENGLESTAD, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he was acting as the authorized agent, and that the contents of the same were true and correct. Given under my hand and seal of office this _____ day of _____, 2026.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATE
KNOW ALL MEN BY THESE PRESENTS:
That I, DUYRN HENNINGTON, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown thereon were properly located under my personal supervision, in accordance with the Subdivision Regulations of the City of Midland, Texas.

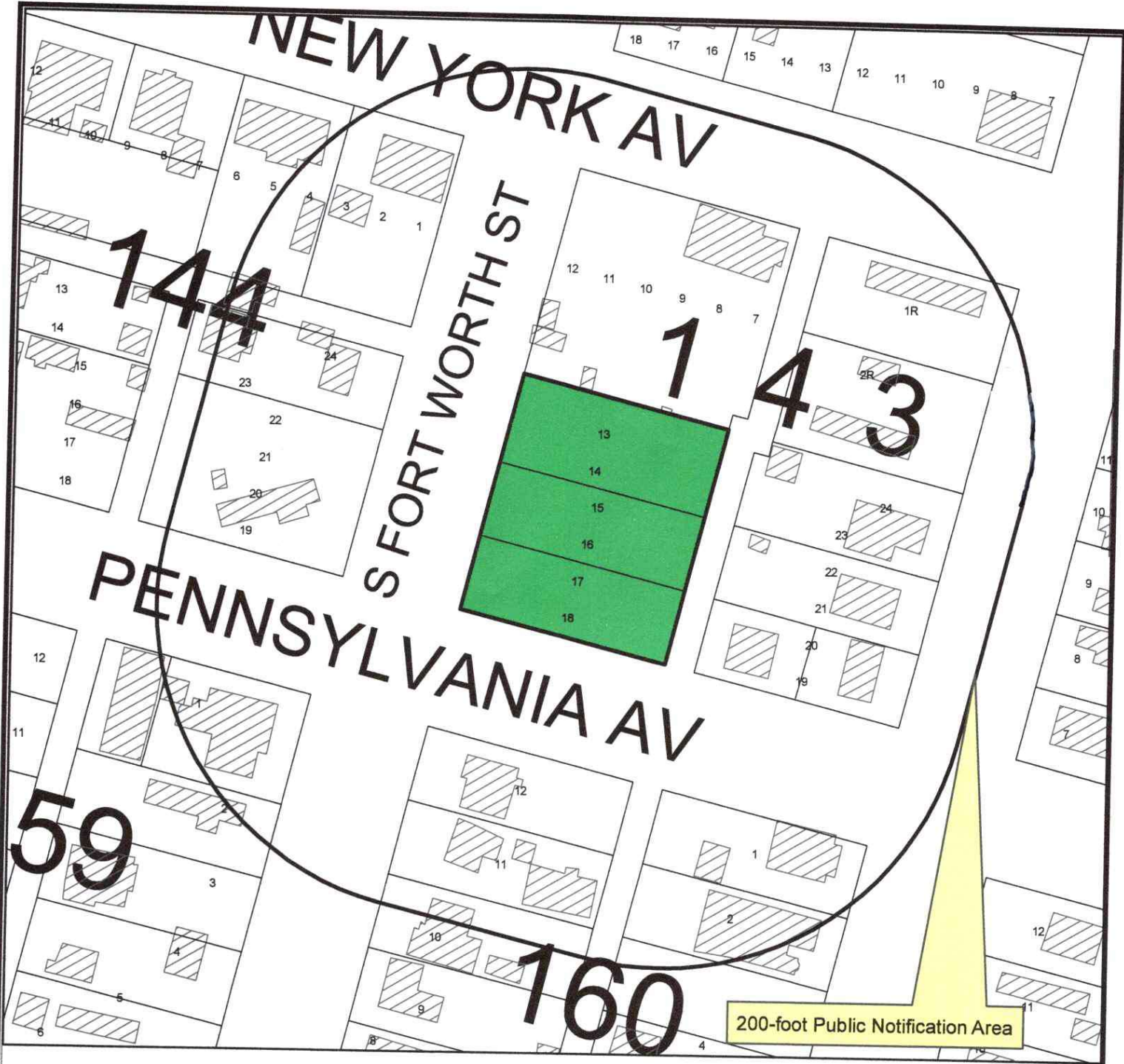
DUYRN HENNINGTON, R.P.L.S. 6832
2030 W. CUTHBERT, SUITE 4,
MIDLAND, TEXAS 79701-4226
432-570-8226

CERTIFICATE OF APPROVAL
For approval by the commission:
This is to certify that the above and foregoing plat of "SOUTHERN ADDITION, SECTION 37" was given and adopted by a proper action of the City Planning and Zoning Commission of the City of Midland, Texas on this _____ day of _____, 2026.

JOSHUA SPARKS, CHAIRMAN
LONDON OCHOA, SECRETARY

PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS
NO. _____ CABINET _____
DATE: _____ PAGE _____

PENNELL LAND SURVEYING, LLC
SURVEYING FIRM #: 10193978
2030 W. Cuthbert, Midland, Texas 79701
(432)570-6256, brucepennell@yahoo.com
MAY 2026
SOUTHERN ADDITION,
SECTION 37



Location Map

SUB-26-0980 Scale: 1" = 600'

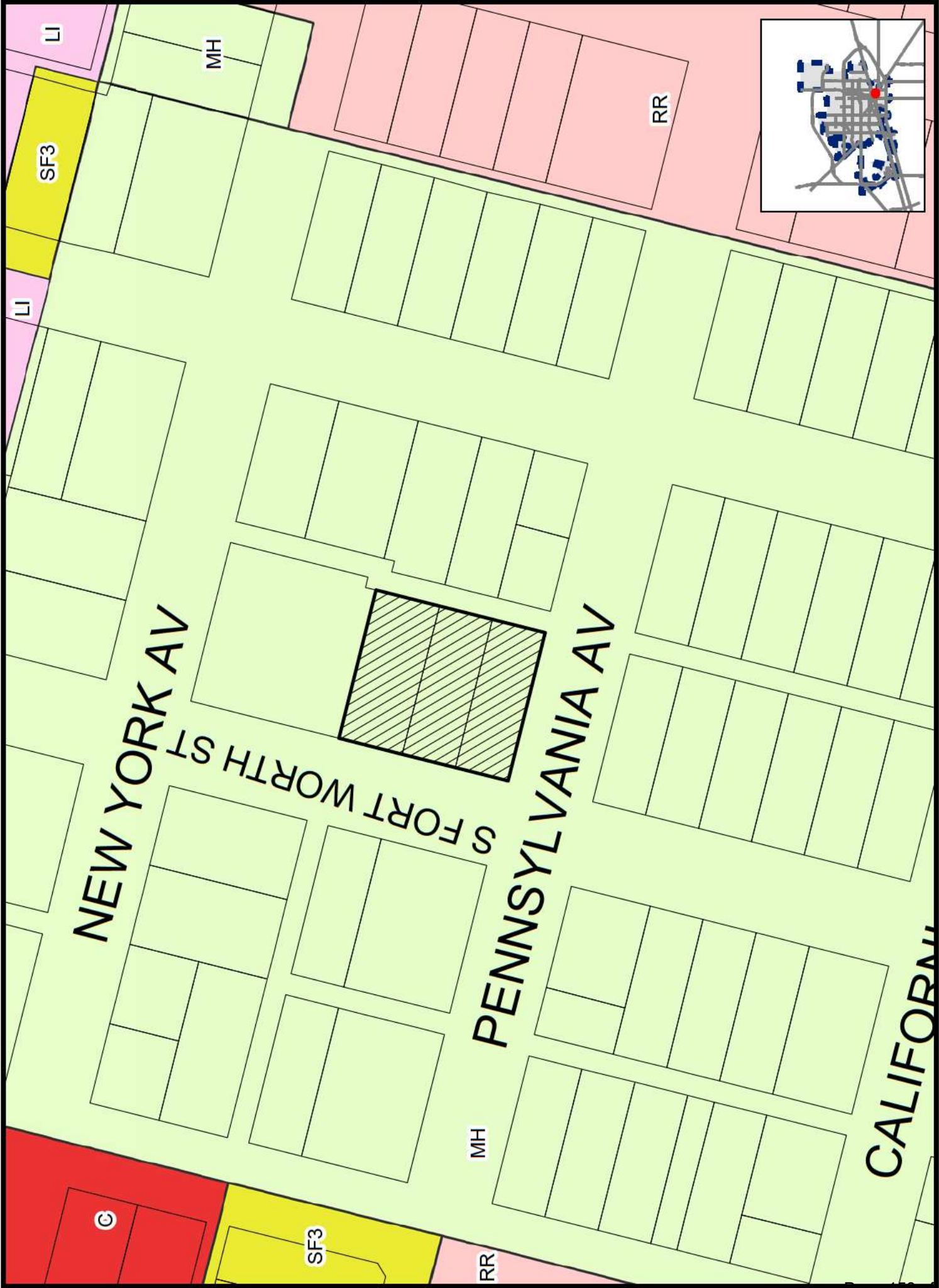
Proposed plat of Southern Addition, Section 37, being a replat of Lots 13 through 18, and the south half of a previously vacated 20' alley (Ordinance 9535), Block 143, Southern Addition, City and County of Midland, Texas.

Generally located at the northeast corner of the intersection of South Fort Worth Street and East Pennsylvania Avenue. (Council District 2)

- LEGEND**
- CITY LIMITS
 - PARCEL
 - PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND, 2024. THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY OR OTHER PROFESSIONAL SERVICE. IT IS PROVIDED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.

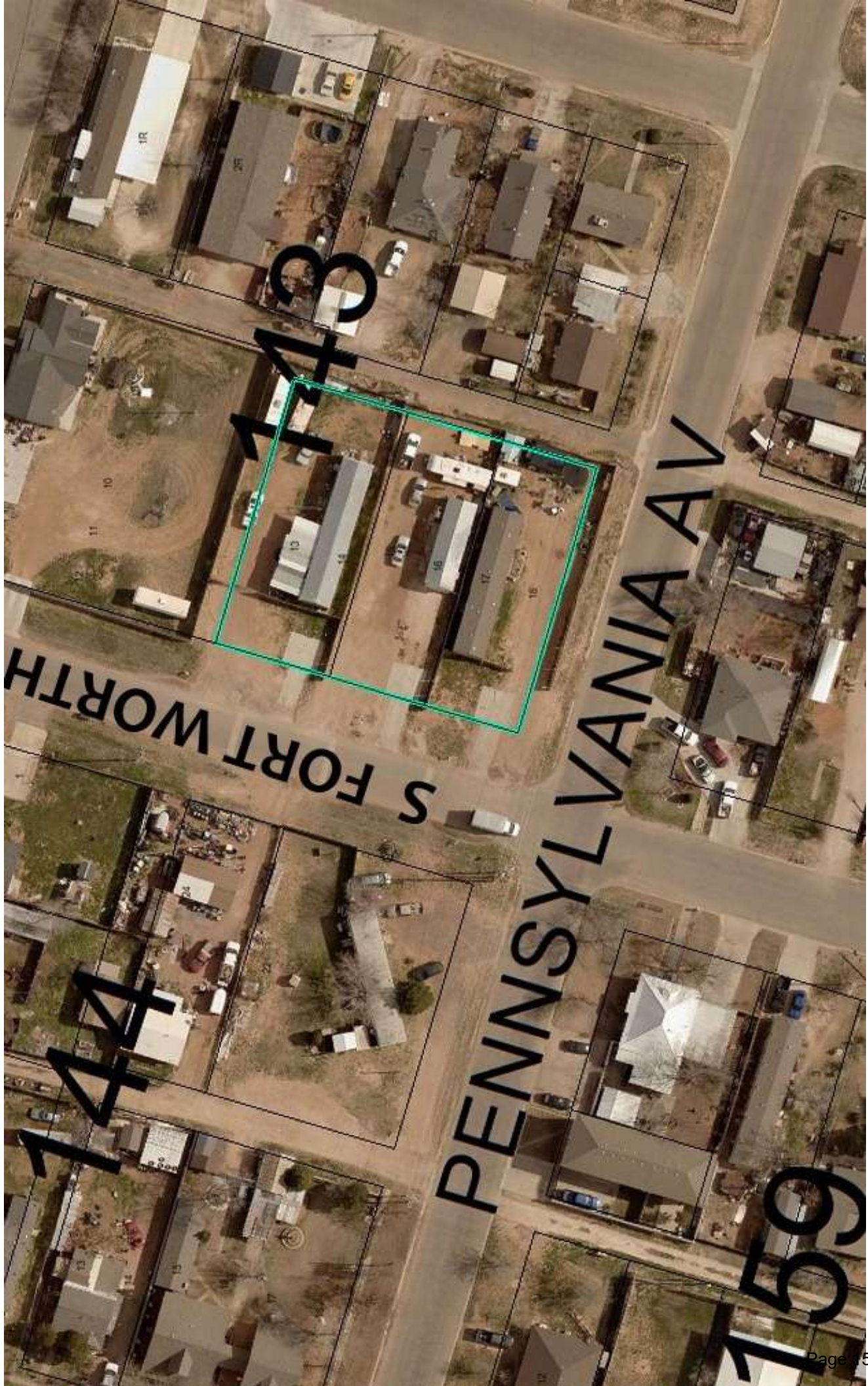


ZONING MAP

Scale: 1" = 800'

SUB-26-0980

Map by LE, 5/27/2026



S FORT WORTH

PENNSYLVANIA AV

1143

1144

1159





PRELIMINARY PLAT SOUTHERN ADDITION, SECTION 37

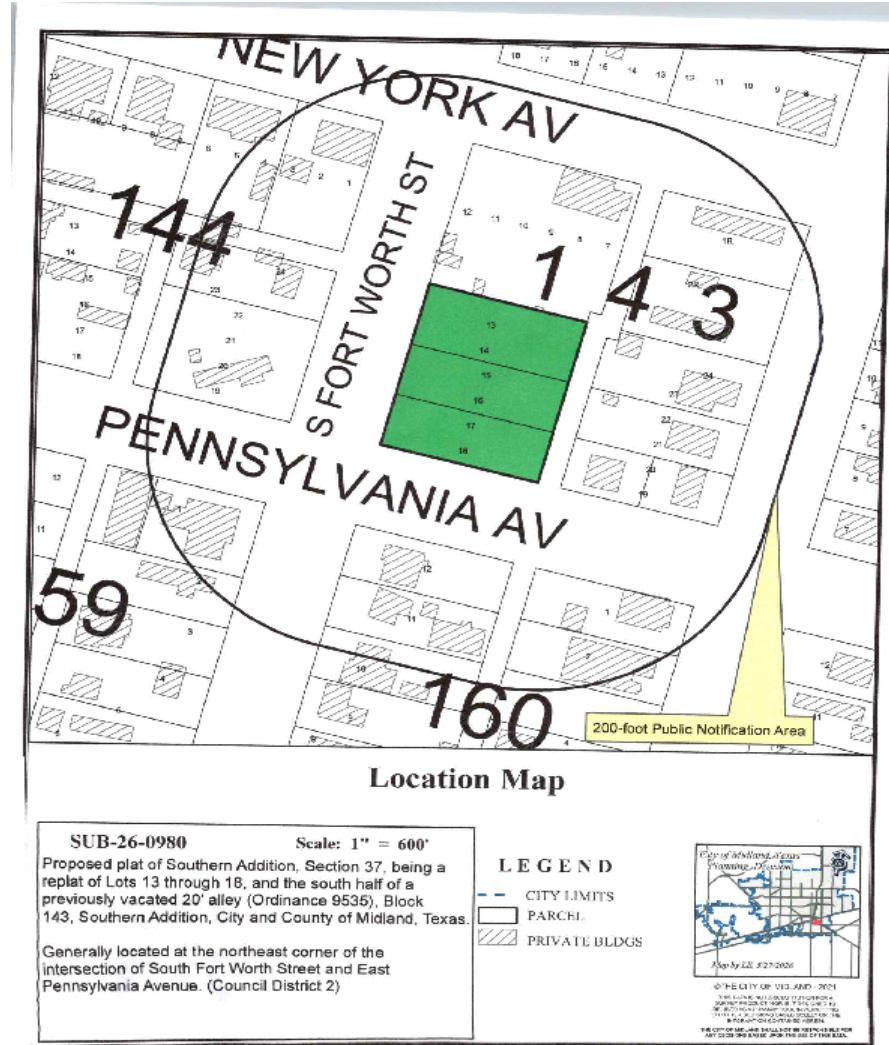


Visit Our Website

MIDLANDTEXAS.GOV

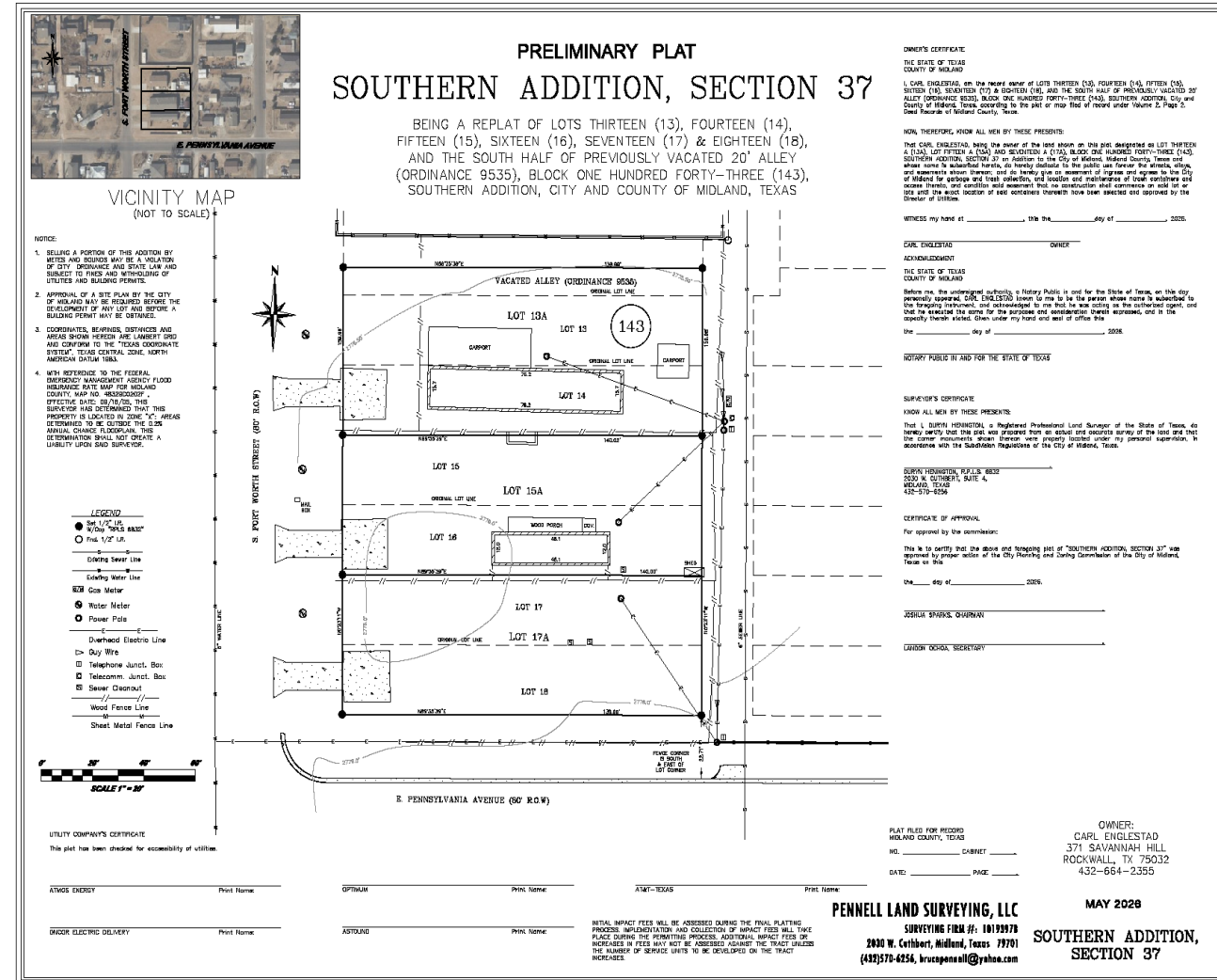
APPLICATION SUMMARY

- **Property Owner:** Carl Englestad
- **Representative:** Durnyn Henington, with Pennell Surveying
- **Location:** 607, 611, and 615 South Fort Worth Street in District 2
- **Reason for Request:** Combining adjacent lots to obtain building permits for future residential construction



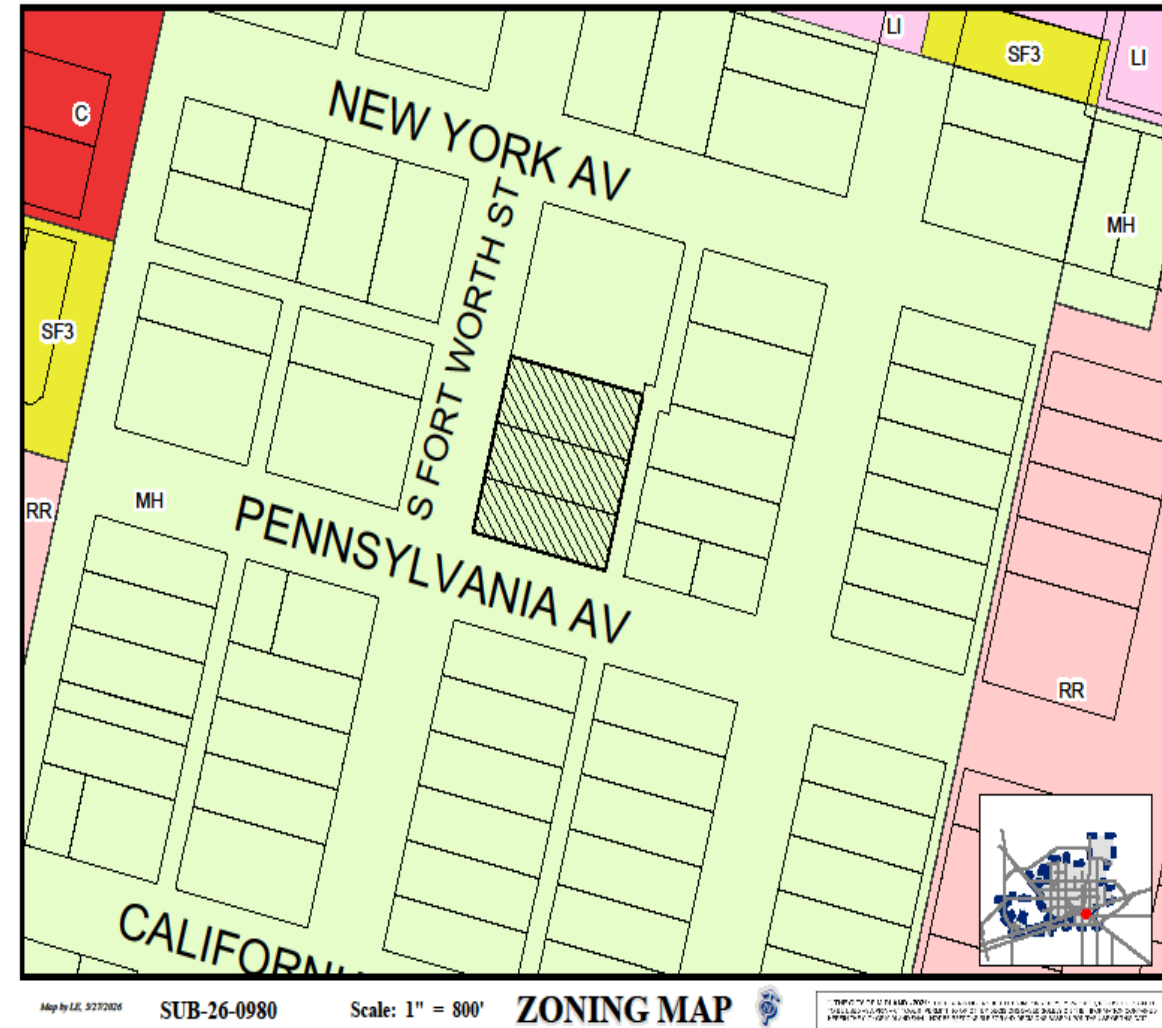
PLAT DETAILS

- Acreage: 0.51 acres
- Number of Existing Lots: 6
- Number Proposed Lots: 3



ZONING

- **Current Zoning:** MH, Manufactured Housing District
- **Surrounding Zoning:**
 - **North/South/East/West:** MH, Manufactured Housing District



Map by L&L 5/27/2004 SUB-26-0980 Scale: 1" = 800' ZONING MAP

LAND USE

- **Current Use:** Single-family residences
- **Surrounding Uses:**
 - **North/South/East/West:** Single-family residences
- **Proposed Use:** one single-family residence

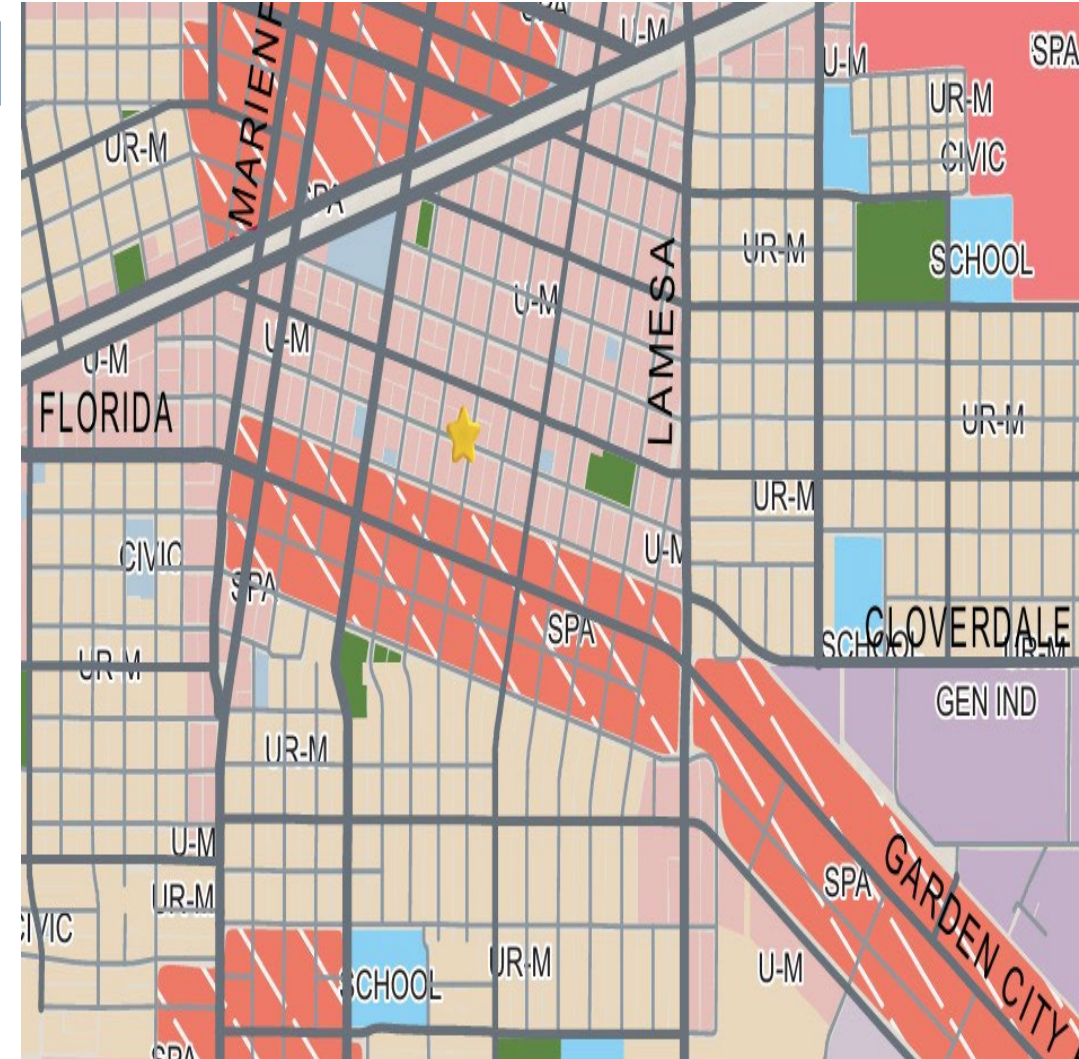




On South Fort Worth Street, Looking East

COMPREHENSIVE PLAN

- **Land Use Designation:** U-M, Urban- Medium
- **Supported Uses:** A mix of complementary uses, including single-family housings, multi-family housing, schools, and mixed use.



STAFF'S RECOMMENDATION

- No objections were received.
- Staff recommends approval of this request with the following condition:
 - A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recordation with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 13.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Angelina Bettanini, Planner II
Subject: Hold a public hearing and consider a Preliminary Plat of Original Town, Section 32, being a replat of the middle 50 feet of Lot 2, Block 73, Original Town, City and County of Midland, Texas. (Generally located on the west side of South Marshall Street, approximately 75 feet north of East Missouri Avenue.)

Purpose:
Details of Request:

Durn Henington, on behalf of A & D New Homes, LLC, is requesting to plat 0.16-acres located at 108 South Marshall Street, into one lot for future residential construction.

Current Zoning:

SF-3, Single-Family Dwelling District
This request has been routed to all respective departments for internal review. The comments are below

Recommended Action:

Approve

Fiscal Impact:

None.

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved)

IMPACT FEES: Okay as Shown. [For Applicant's Information Only.]

ROW: Refer to Transportation's Comment's. [For Applicant's Information Only.]

PAVING: S. Marshall roadway okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: 6" water exists in alley E of tract, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 8" sewer exists in alley E of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Drainage study not required for development into single family residences. Development considered infill. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No Oil & Gas Issues

GIS: (Approved)

Label lot number.

ADDRESSING: (Approved with Conditions)

Missing Lot Information on new plat.

HEALTH DEPARTMENT: (Approved)

The lot is close to a public sewer, no need for a septic system.

CRMWD: (Approved)

We do not have any comments on this plat.

PLANNING: (Approved)

Staff recommends approval of the Preliminary Plat of 349 Ranch Estates, Section 29, subject to the following conditions

Conditions:

- A. **Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

Attachments:

- A. P-26-2562, Combined Docs
- B. P&Z - Original Town Sec 32 Prelim

Angelina Bettanini, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026



VICINITY MAP
(NOT TO SCALE)

PRELIMINARY PLAT

ORIGINAL TOWN, SECTION 32

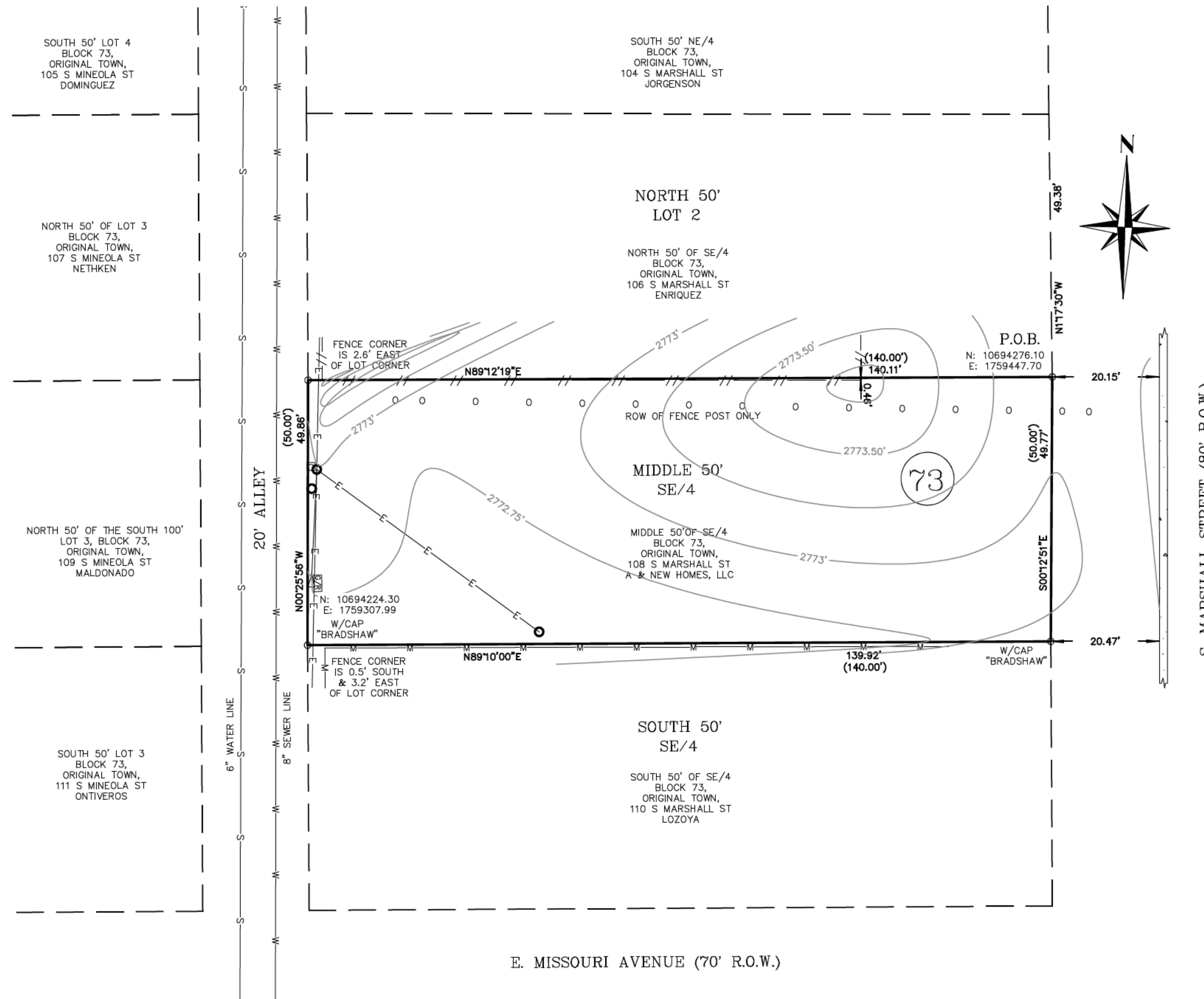
BEING A REPLAT OF THE MIDDLE 50 FEET OF
LOT 2, BLOCK 73, ORIGINAL TOWN
CITY AND COUNTY OF MIDLAND, TEXAS

NOTICE:

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- COORDINATES, BEARINGS, DISTANCES AND AREAS SHOWN HEREON ARE LAMBERT GRID AND CONFORM TO THE "TEXAS COORDINATE SYSTEM", TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM 1983.
- WITH REFERENCE TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR MIDLAND COUNTY, MAP NO. 48329C0202F, EFFECTIVE DATE: 09/16/05, THIS SURVEYOR HAS DETERMINED THAT THIS PROPERTY IS LOCATED IN ZONE "X": AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN. THIS DETERMINATION SHALL NOT CREATE A LIABILITY UPON SAID SURVEYOR.

LEGEND

- Set 1/2" I.R. W/Cap "RPLS 6832"
- Fnd. 1/2" I.R.
- Existing Sewer Line
- Existing Water Line
- ⊠ Gas Riser
- Power Pole
- Overhead Electric Line
- ▽ Guy Wire
- Cable Pedestal
- Sheet Metal Fence Line



OWNER'S CERTIFICATE

THE STATE OF TEXAS
COUNTY OF MIDLAND

A & D NEW HOMES, LLC, is the record owner of the Middle 50 feet of Lot Two (2), Block Seventy-Three (73) Original Town, City and County of Midland, Texas, according to the plat or map filed of record under Volume 3, Page 232, Deed Records of Midland County, Texas.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

That A & D NEW HOMES, LLC, being the owner of the land shown on this plat designated as LOT FIVE (5), BLOCK SEVENTY-THREE (73), ORIGINAL TOWN, SECTION 32 an Addition to the City of Midland, Midland County, Texas and whose name is subscribed hereto, do hereby dedicate to the public use forever the streets, alleys, and easements shown thereon, and do hereby give an easement of ingress and egress to the City of Midland for garbage and trash collection, and location and maintenance of trash containers and access thereto, and condition said easement that no construction shall commence on said lot or lots until the exact location of said containers therewith have been selected and approved by the Director of Utilities.

WITNESS my hand at _____, this the _____ day of _____, 2026.

By: _____ AUTHORIZED SIGNATOR

ACKNOWLEDGMENT

THE STATE OF TEXAS
COUNTY OF MIDLAND

Before me, the undersigned authority, a Notary Public in and for the State of Texas, on this day personally appeared, ALFREDO ZARATE known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he was acting as the authorized agent, and that he executed the same for the purposes and consideration therein expressed, and in the capacity therein stated. Given under my hand and seal of office this

the _____ day of _____, 2026.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

That I, DURYN HENINGTON, a Registered Professional Land Surveyor of the State of Texas, do hereby certify that this plat was prepared from an actual and accurate survey of the land and that the corner monuments shown thereon were properly located under my personal supervision, in accordance with the Subdivision Regulations of the City of Midland, Texas.

DURYN HENINGTON, R.P.L.S. 6832
2030 W. CUTHBERT, SUITE 4,
MIDLAND, TEXAS
432-570-6256

CERTIFICATE OF APPROVAL

For approval by the commission:

This is to certify that the above and foregoing plat of "ORIGINAL TOWN, SECTION 32" was approved by proper action of the City Planning and Zoning Commission of the City of Midland, Texas on this

the _____ day of _____, 2026.

JOSHUA SPARKS, CHAIRMAN

LONDON OCHOA, SECRETARY

UTILITY COMPANY'S CERTIFICATE

This plat has been checked for accessibility of utilities.

ATMOS ENERGY _____ Print Name: _____

OPTIMUM _____ Print Name: _____

AT&T-TEXAS _____ Print Name: _____

ONCOR ELECTRIC DELIVERY _____ Print Name: _____

ASTOUND _____ Print Name: _____

INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE PERMITTING PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.

PENNELL LAND SURVEYING, LLC
SURVEYING FIRM #: 10193978
2030 W. Cuthbert, Midland, Texas 79701
(432)570-6256, brucepennell@yahoo.com

OWNER:



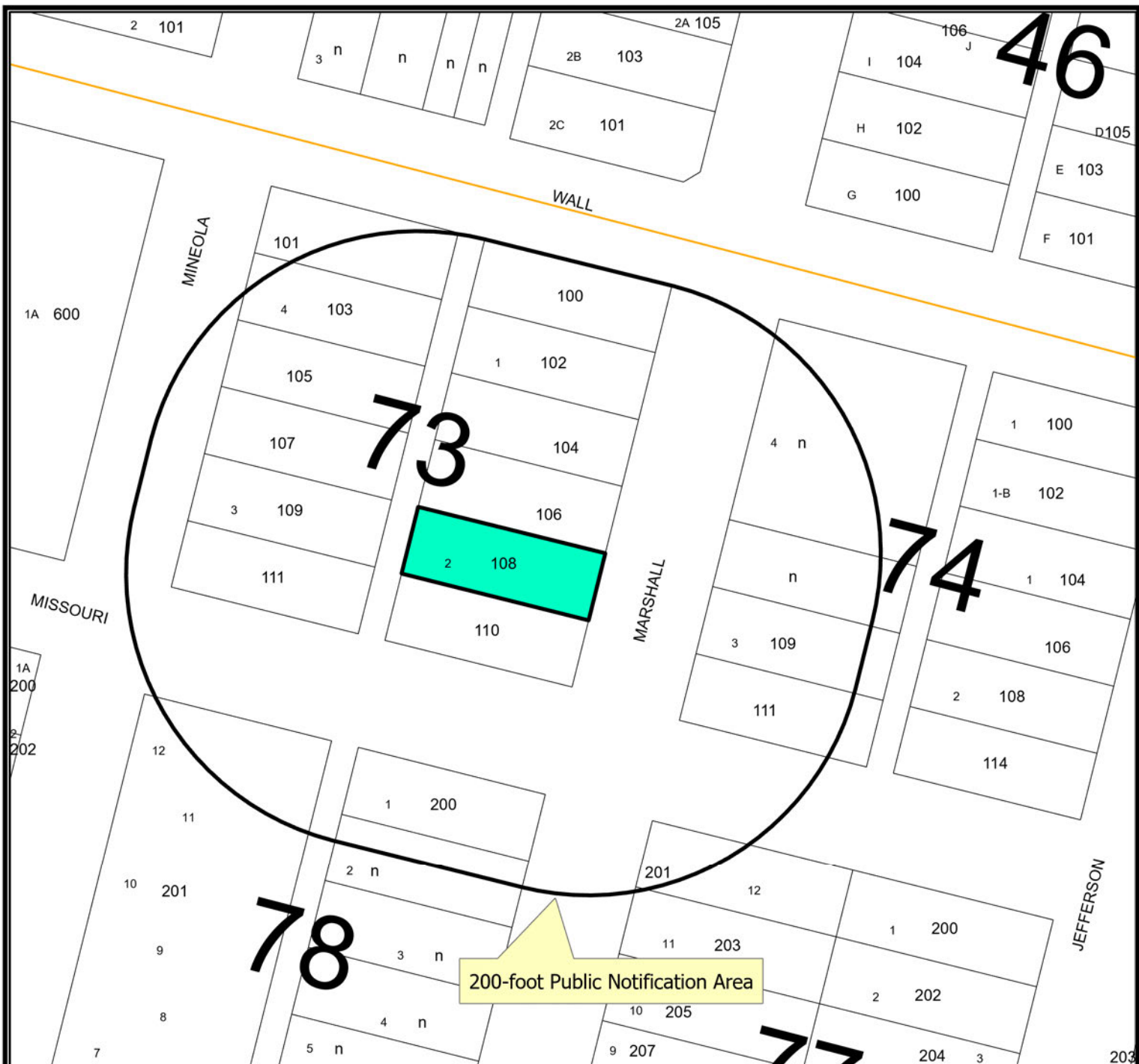
PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS

NO. _____ CABINET _____

DATE: _____ PAGE _____

MAY 2026

**ORIGINAL TOWN,
SECTION 32**



Location Map

SUB-26-0979

Scale: 1" = 104'

Proposed plat of Original Town, Section 32, being a replat of the middle 50 feet of Lot 2, Block 73, Original Town, City and County of Midland, Texas.

Generally located on the west side of South Marshall Street, approximately 75 feet north of East Mississippi Avenue (Council District 2)

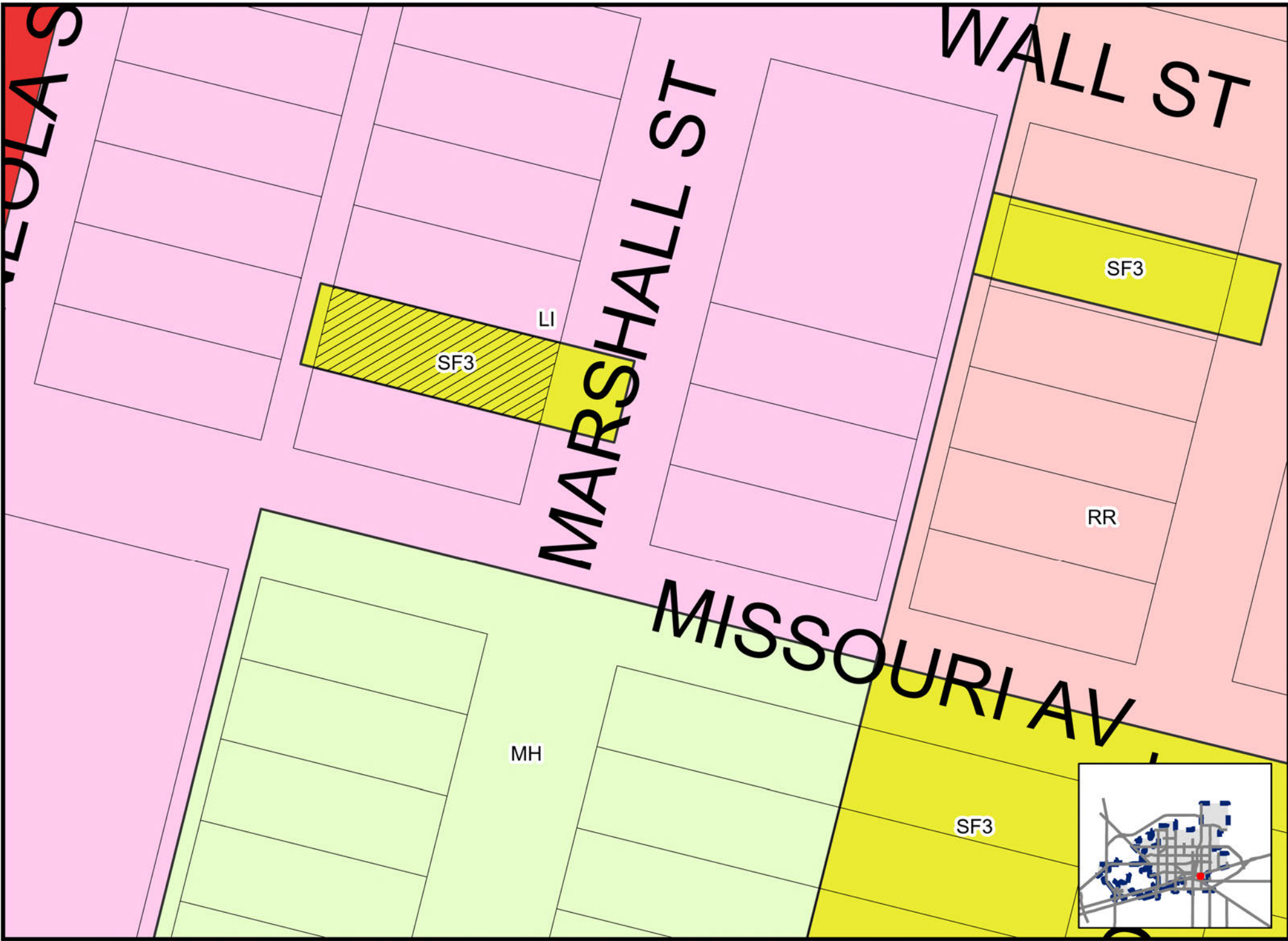
LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS

City of Midland, Texas
Planning Division

Map by AB

©THE CITY OF MIDLAND - 2021
THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



73

72







PRELIMINARY PLAT ORIGINAL TOWN, SECTION 32

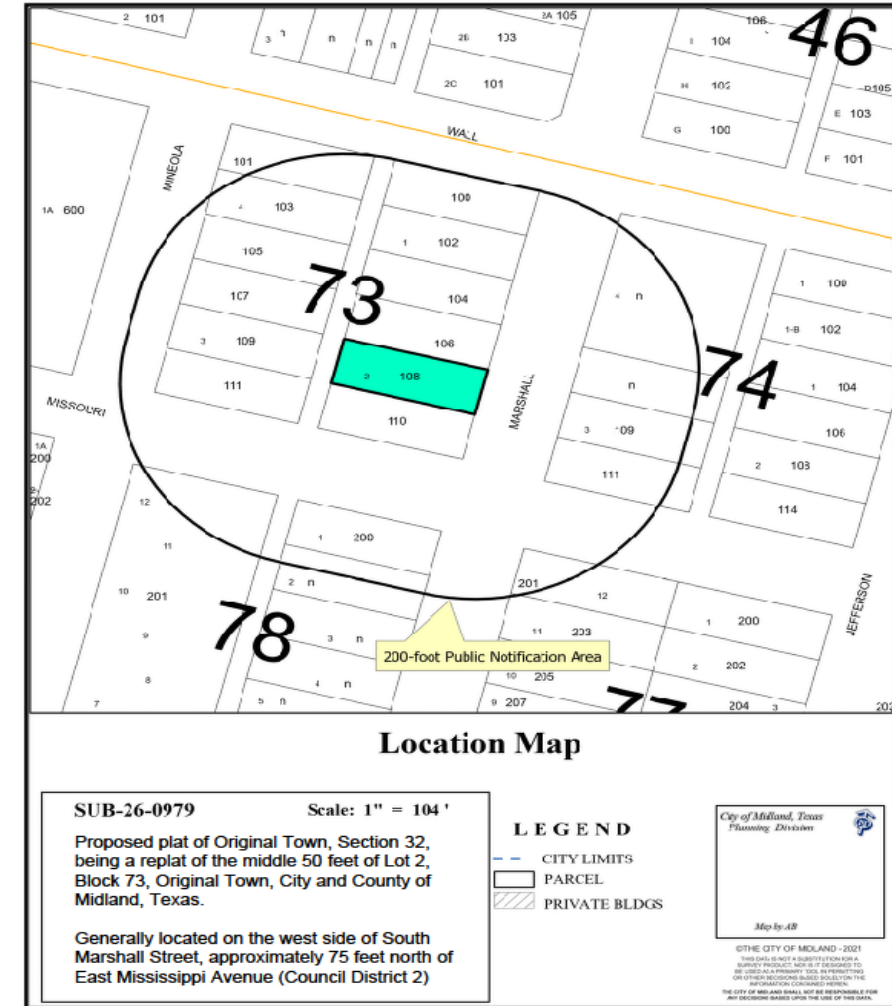


Visit Our Website

MIDLANDTEXAS.GOV

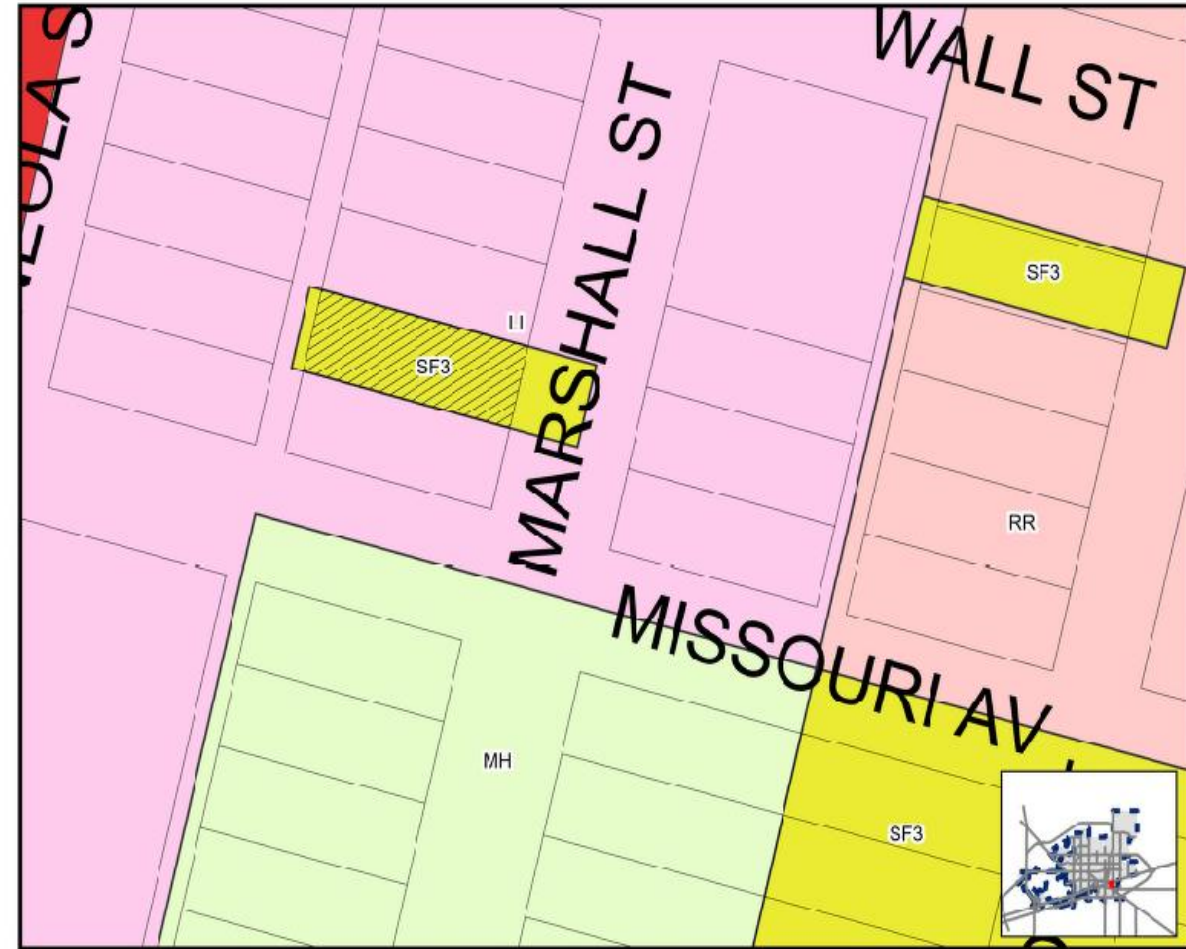
APPLICATION SUMMARY

- **Property Owner:** A & D New Homes, LLC
- **Representative:** Durnyn Henington
- **Location:** 108 South Marshall Street (Council District 2)
- **Reason for Request:** Platting for future residential construction



ZONING

- **Current Zoning:** SF-3, Single-Family Dwelling District
- **Surrounding Zoning:**
 - **North/East/Sotuh/West:** LI, Light Industrial



Created: 6/9/2026

SUB-26-0979

Scale: 1" = 73'

ZONING MAP



© THE CITY OF MIDLAND 2021. THIS MAP IS A CITY SUBSTITUTION FOR A SURVEY PRODUCT. NOW IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PRINTING OR OTHER GEOSPATIAL BASED TOOLS ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY MISTAKES BASED UPON THE USE OF THIS MAP.

LAND USE

- **Current Use:** Vacant
- **Surrounding Uses:**
 - **North/East/South/West:** Single-Family Housing
- **Proposed Use:** Single-Family Dwelling

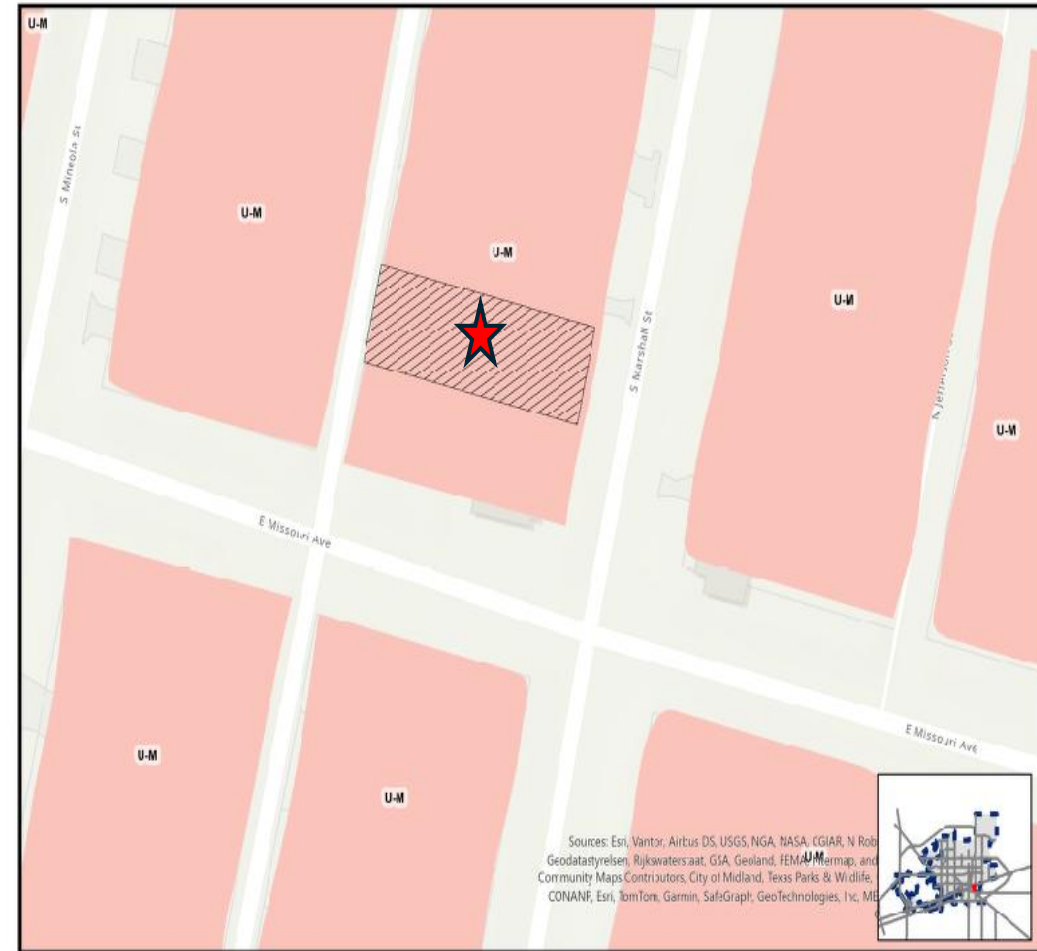




On South Marshall Street, Looking West

COMPREHENSIVE PLAN

- **Land Use Designation:** Urban Medium (U-M)
- **Supported Uses:** A mix of complementary uses, including single-family housings, multi-family housing, schools, mid-sized parks and churches, commercial and mixed use



Sources: Esri, Vantor, Airbus DS, USGS, NGA, NASA, CGIAR, N Rob Geodatatyrselen, Rijkswatersaat, GSA, Geoland, FEMA, U-M map, and Community Maps Contributors, City of Midland, Texas Parks & Wildlife, CONANP, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, 1vc, MLI

Created: 09/2025

SUB-26-0979

Scale: 1" = 73'

TCT MAP



© THE CITY OF MIDLAND, 2025. THIS DATA IS NOT A SUBSTITUTE FOR A QUALITY PRODUCT NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL. BY VIEWING THIS OR OTHER RECORDS BASED ON THE INFORMATION CONTAINED HEREIN, THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.

STAFF'S RECOMMENDATION

- Staff recommends approval of this request subject to the following conditions:
 - A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 14.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Hold a public hearing and consider a request by Addis Getahun, on behalf of Lifehouse Fellowship Church for a Specific Use Designation without Term for a Residential Assisted Living Facility on Lot 3A, Block 25, Plantation Hills, Section 23, City and County of Midland, Texas. (Generally located on the east side of Whitman Drive, approximately 350 feet north of Bluebird Lane.)

Purpose:

The applicant, Addis Getahun, on behalf of Lifehouse Fellowship Church, is requesting a Specific Use Permit without Term, for a Residential Assisted Living facility.

Recommended Action:

Approve

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

AE, Agricultural Estate District

Surrounding Zoning and Land Use:

The subject property is currently vacant and zoned AE, Agricultural Estate District. The property to the north is zoned AE, Agricultural Estate District, and is currently a park. To the east, west, and south properties are zoned AE, Agricultural Estate District, and are currently residences.

Analysis:

The applicant, Addis Getahun, on behalf of Lifehouse Fellowship Church, is requesting a Specific Use Designation Permit, without term for a Residential Assisted Living facility. The subject property is located at 5108 Whitman Drive. The property is zoned AE, Agricultural Estate District which allows for the use of an Assisted Living facility with a Specific Use

Designation without term. Per the definition of Assisted Living as defined in Section 11-1-2.01.33:

A facility operated by a business or non-profit organization where ill or elderly people are provided with lodging and meals, with or without nursing care.

The Tall City Tomorrow Comprehensive Plan designated this area as an Urban Residential-Large Lot. The designation supports restrictive land uses, emphasizing housing and open space, with civic uses allowed with special use permits. The use of this Assisted Living facility is a use that is complementary to the surrounding land use.

This project has been circulated to all City departments for review. Below are the department comments

Fire: (Approved)

The Fire Department has reviewed the Special Use Permit request and has no objection at this time. This review is limited to land-use considerations and does not constitute approval of fire code compliance. The proposed use shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), fire protection systems (IFC §903), fire alarm and detection requirements (IFC §907), occupant load limitations, and means of egress. Additional fire and life safety requirements may be identified during site plan review, building permit review, and fire inspections prior to occupancy.

Engineering: (Approved)

No objection. [For Applicant's Information Only.]

Transportation: (Approved)

No objection. [For the Applicant's information only.]

Building Code: (Approved)

No Objections

Planning: (Approve)

This request meets all requirements; therefore, staff recommends approval of the request for the Specific Use Designation without Term for an Assisted Living facility, subject to the condition below.

Conditions:

- A. **That the use and development of the Property for the Specific Use shall significantly conform to the site plan, which is attached hereto as Exhibit "A" and incorporated herein for all purposes.**

Letters of Objection:

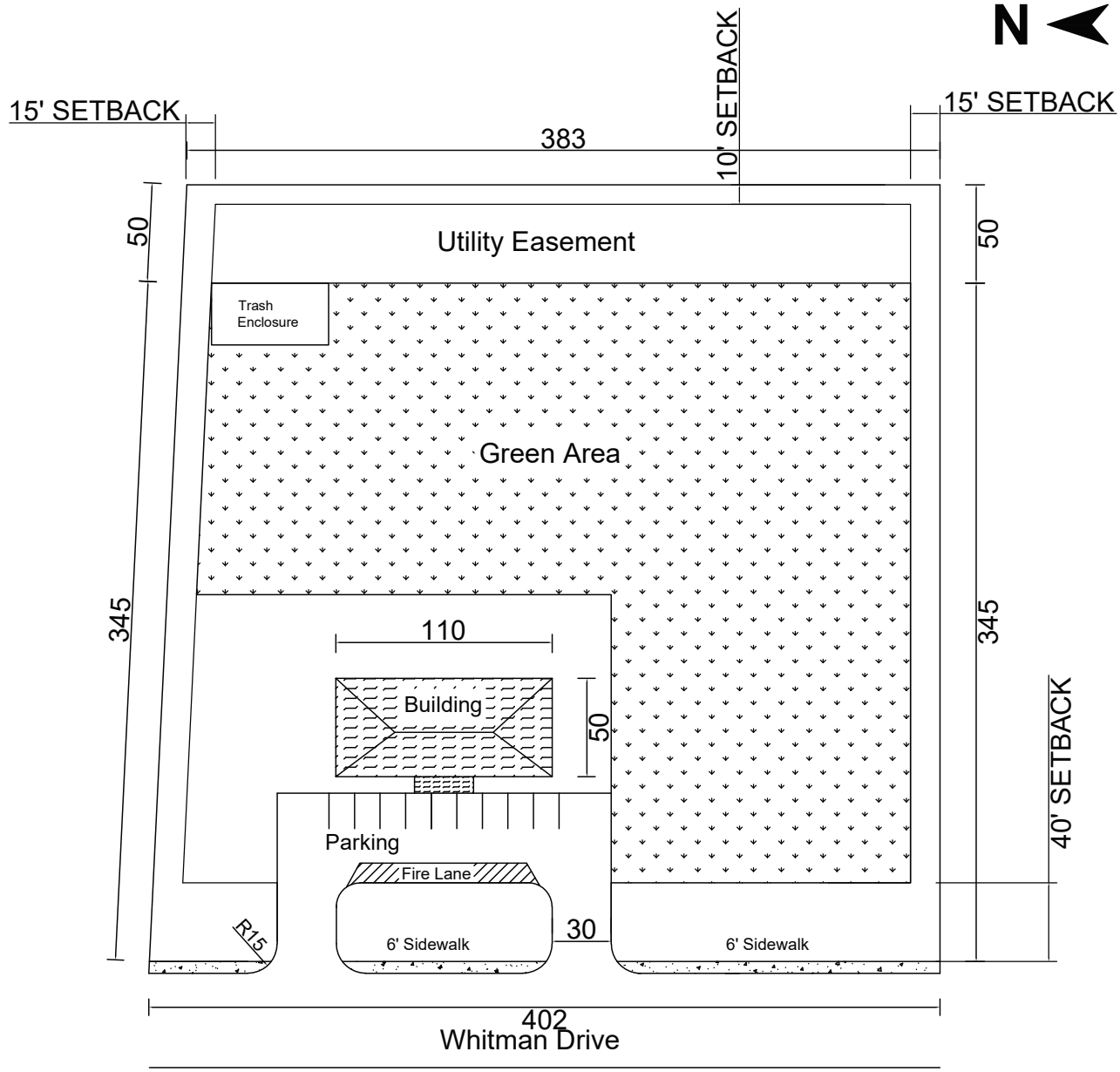
As of June 5, 2026, staff has not received any letters of objection.

Attachments:

- A. SUDwo-26-0053, Combined files
- B. P&Z- - RAL SUDwo

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/4/2026
Final Approval - 6/12/2026



NOT TO SCALE

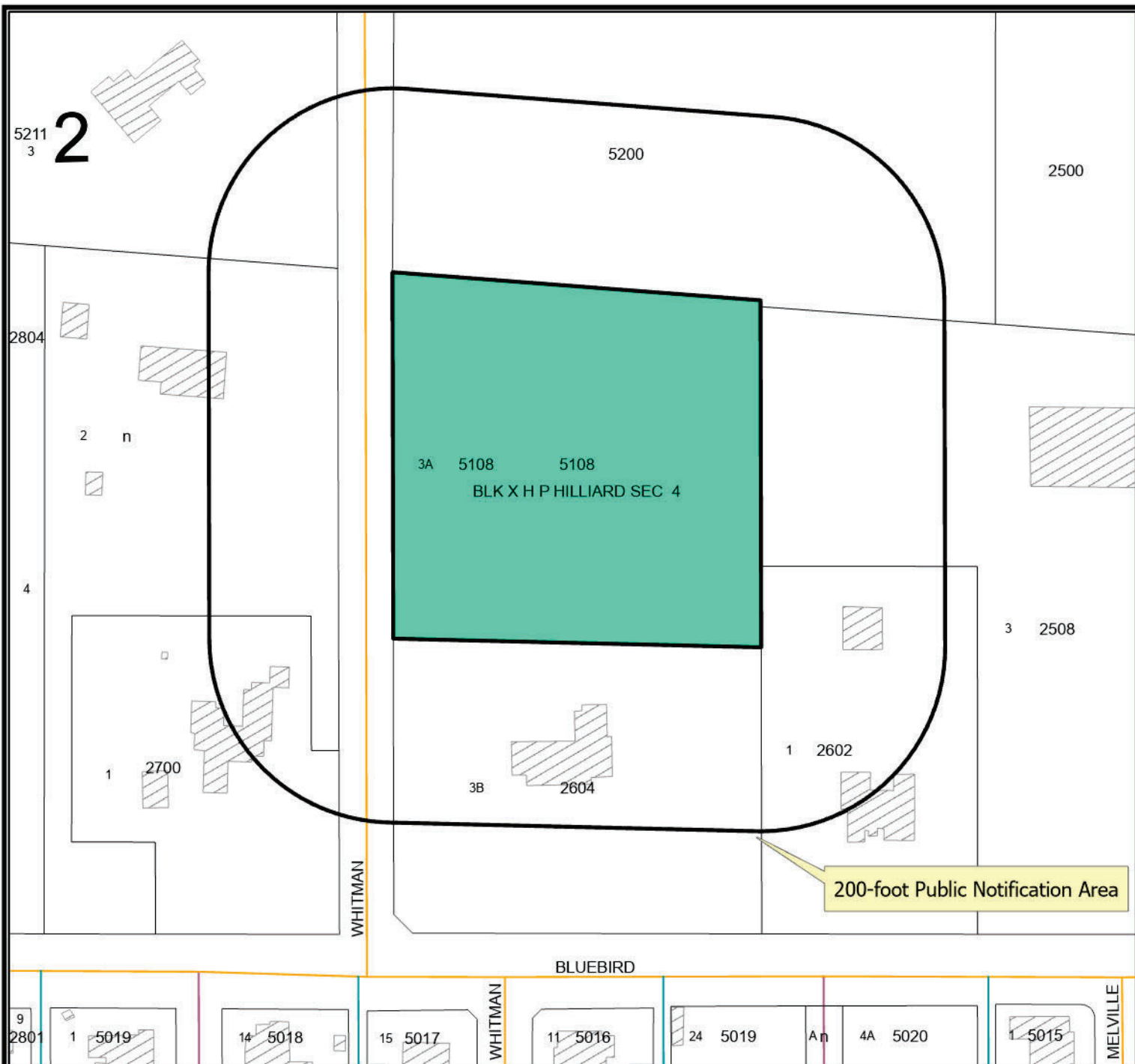
General Notes

No.	Revision/Issue	Date

Firm Name and Address

Project Name and Address
 RESIDENTIAL ASSISTED LIVING
 5108 WHITMAN DRIVE
 MIDLAND TX, 79705
 USA

Project	####	Sheet	##
Date	APRIL 2026		
Scale	As Noted		



Location Map

SUDwo-26-0053

Scale: 1" = 157'

Consider a request by Addis Getahun, on behalf of Lifehouse Fellowship Church for a Specific Use Designation without Term for a Residential Assisted Living facility on Lot 3A, Block 25, Plantation Hills, Section 23, City and County of Midland, Texas.

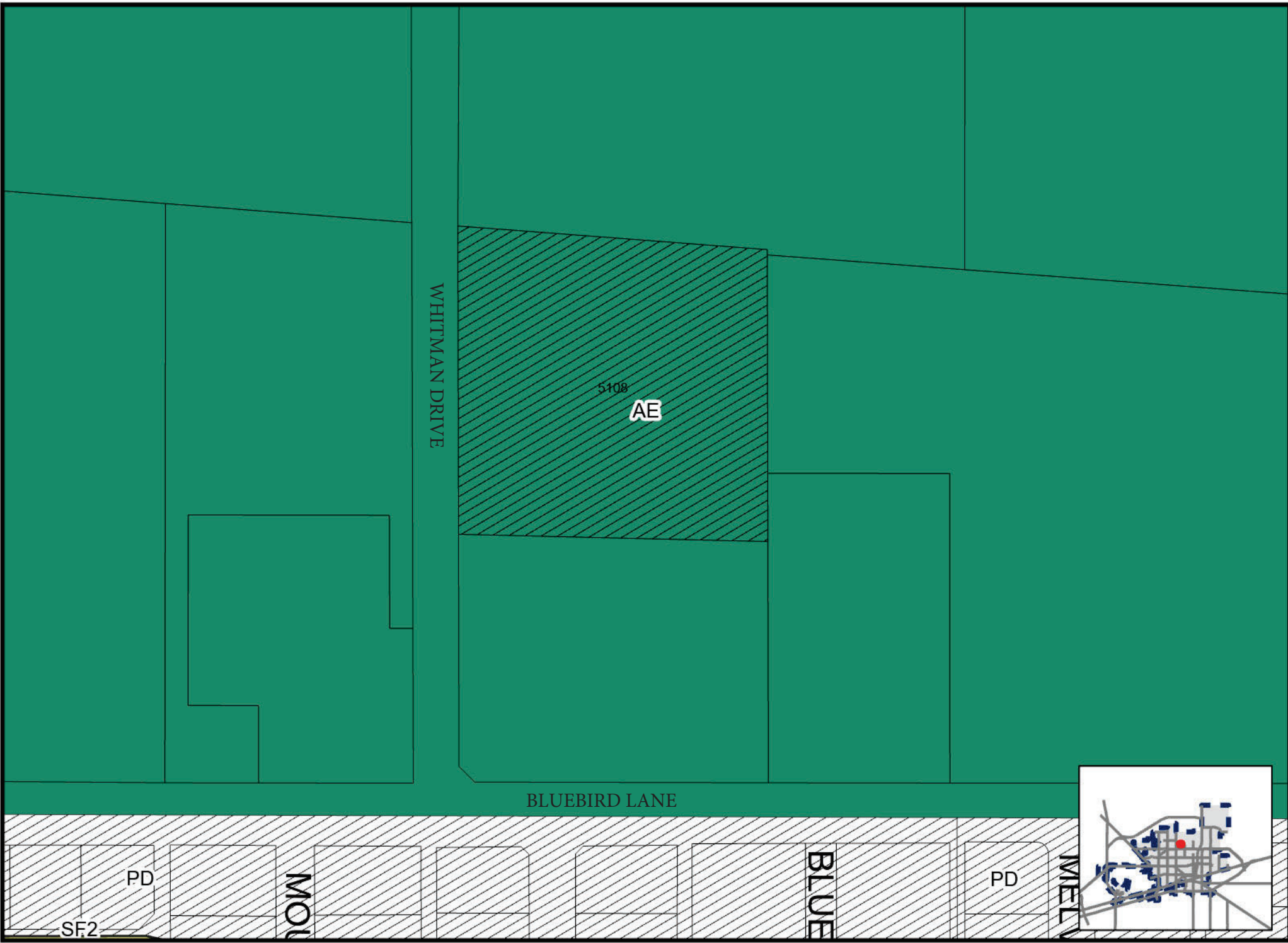
Generally located on the east side of Whitman Drive, approximately 350 feet north of Bluebird Lane.
(Council District 1)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.









SPECIFIC USE DESIGNATION WITHOUT TERM RAL

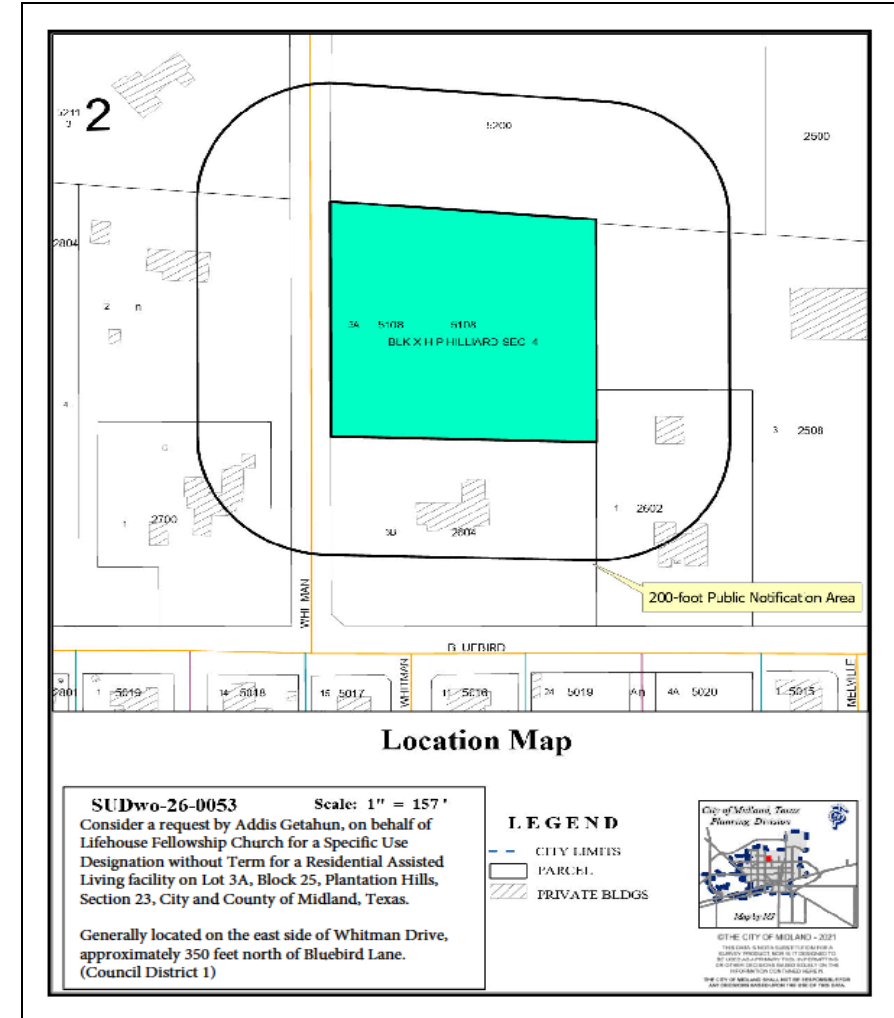


Visit Our Website

MIDLANDTEXAS.GOV

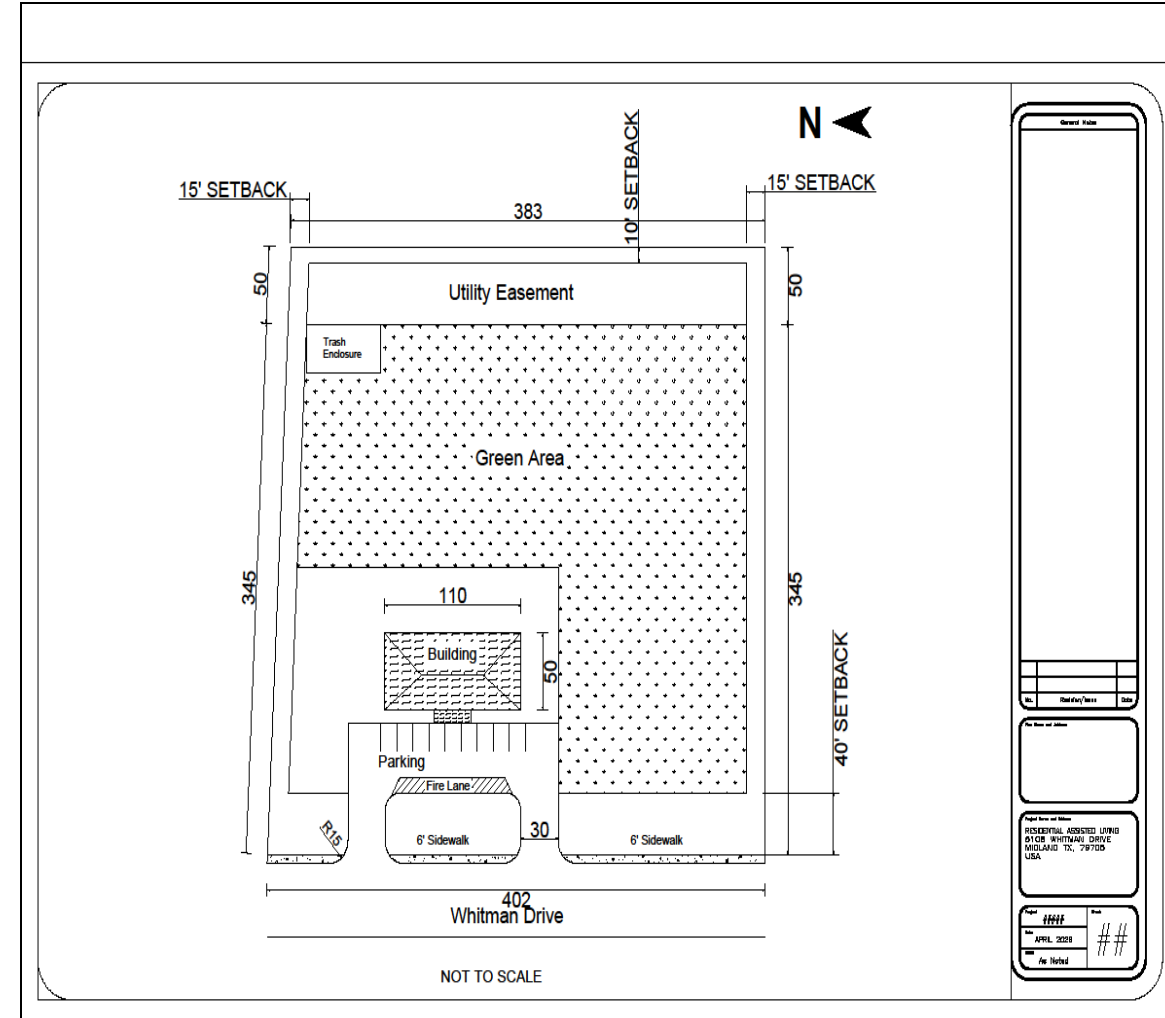
APPLICATION SUMMARY

- **Property Owner:** Lifehouse Fellowship Church
- **Representative:** Addis Getahun
- **Location:** 5108 Whitman Drive
- **Reason for Request:** Residential Assisted Living facility



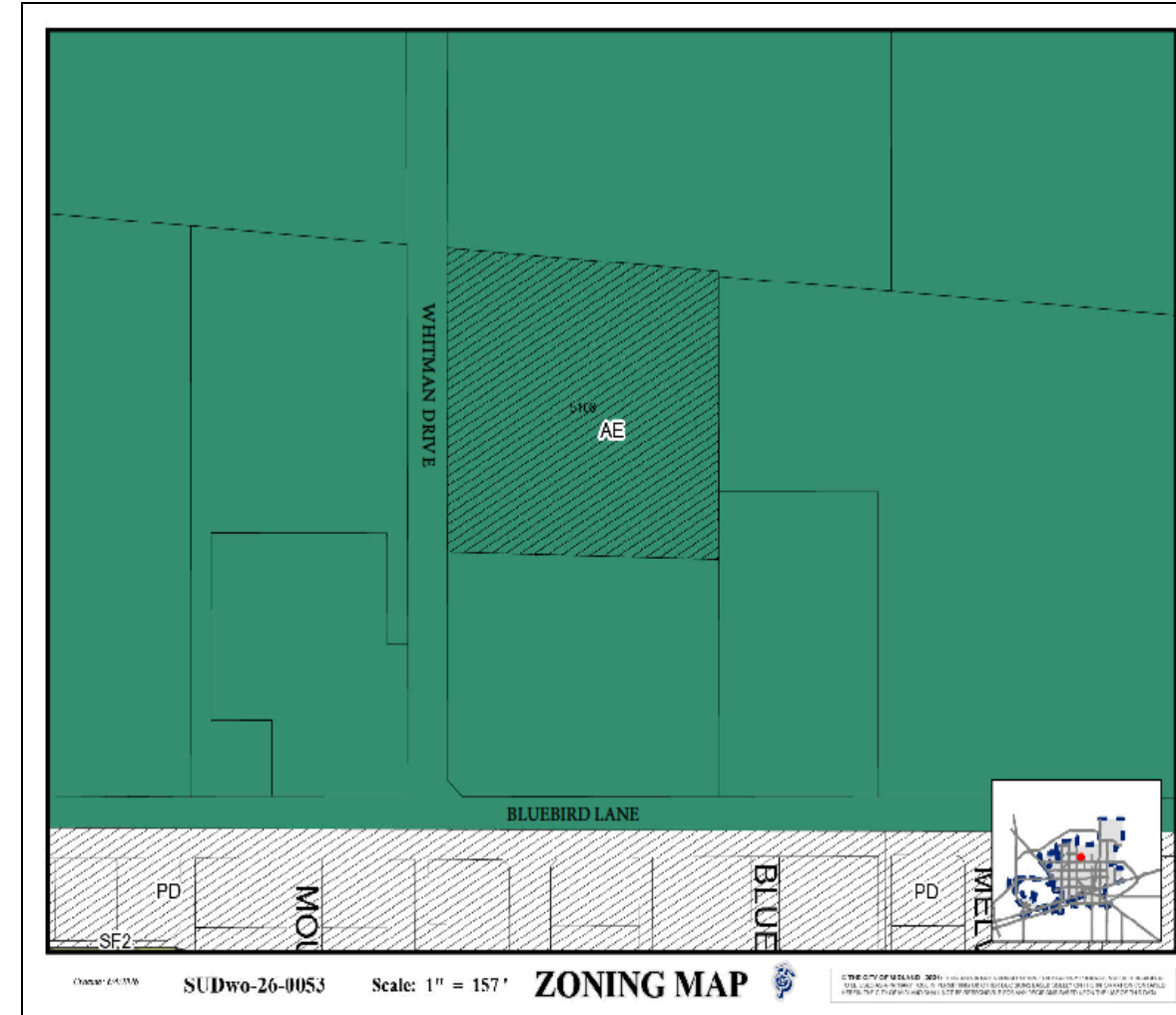
DETAILS OF REQUEST

- **Proposed Days and Hours of Operation:** 24 Hours, 7 days a week.
- **Proposed Days and Hours of SUDwo:** 24 Hours, 7 days a week.



ZONING

- **Current Zoning:** AE, Agricultural Estate District
- **Surrounding Zoning:**
 - **North/South/East/West:** AE, Agricultural Estate District



LAND USE

- **Current Use:** Vacant
- **Surrounding Uses:**
 - **North:** Park
 - **South/East/West:** Residences
- **Proposed Use:** Assisted Living facility





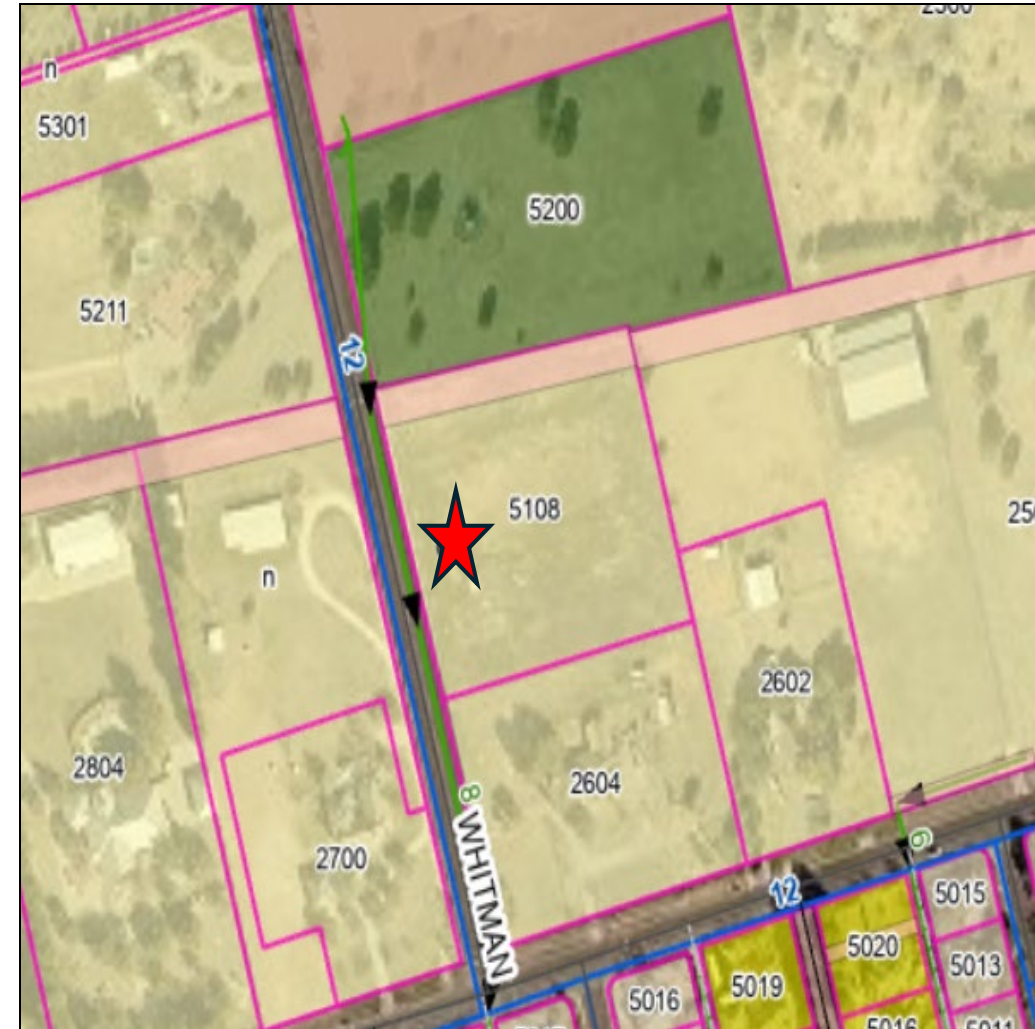
On Whitman Drive, Looking East

6



COMPREHENSIVE PLAN

- **Land Use Designation:** UR, LL, Urban Residential-Large Lot
- **Supported Uses:** [Supports restrictive land uses, Emphasizing housing and open space. Civic uses may be allowed with special use permits.
- The request is compatible with the *Tall City Tomorrow Comprehensive Plan*.



STAFF'S RECOMMENDATION

- No objections were received.
- Staff recommends approval of this request with the following conditions:
 - A. That the use and development of the Property for the Specific Use shall significantly conform to the site plan, which is attached hereto as Exhibit "A" and incorporated herein for all purposes.



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 15.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Hold a public hearing and consider a Preliminary Plat of Vista Del Pueblo, Section 4, being a replat of Lots 1,2,3,4,11,14,15, and 16, Block 1, Vista Del Pueblo, Lot 10A, Block 1, Vista Del Pueblo, Section 3, City and County of Midland, Texas and a plat of 19.86-acre tract of land out of Section 29, Block 38, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the east side of Todd Drive, approximately 1,200 feet south of Ann Drive.)

Purpose:

Magrym Consulting, on behalf of Midessa Homes, LLC is requesting to replat the properties generally located on the east side of Todd Drive, approximately 1,200 feet south of Ann Drive to create a residential development.

Recommended Action:

Deny

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

CE, Country Estate District, and AE, Agricultural Estate District

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code

versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Denied)

*** Denied per City Code Sect. 11-2-3(D)8. Drainage report is required during preliminary stage of the platting process.***

IMPACT FEES: Okay as shown. [For Applicant’s Information Only.]

ROW:Refer to transportation's comments, if any. [For Applicant’s Information Only.]

PAVING: Todd road is sub-standard, construct to City Standards for entire platted frontage or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

WATER: None existing. Construct water to City standards along entire platted frontage, or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant’s Information Only.]

PRO RATA: None. [For Applicant’s Information Only.]

SEWER: None existing. Construct wastewater to City standards along entire platted frontage, or request a deferral. [Reference Midland City Code Sect. 11-2-3(G)1 & 11-2-4(A)2(a)]

DRAINAGE: Drainage report is required during preliminary stage of the platting process. Show the existing contours on the plat face of the preliminary plat. Provide a detailed report comparing pre vs post, including an evaluation of any off-site drainage that may currently flow through the property. [Reference Midland City Code 11-2-3(D)8] Before any fill placement or disturbance within the Federal Emergency Management Agency (FEMA)-designated floodplain, the Base Flood Elevation (BFE) shall be established using a FEMA-approved methodology. Additionally, an approved Conditional Letter of Map Revision Based on Fill (CLOMR-F) must be obtained, with the understanding that a Letter of Map Revision Based on Fill (LOMR-F) will be required upon completion of construction. Approval of the final plat is contingent upon issuance of the CLOMR-F. Contour interpolation is not an acceptable method for determining the BFE within a Zone A floodplain for purposes of a LOMR-F.

EASEMENTS: Show existing and proposed. [For Applicant’s Information Only.]

DIMENSION: * * *

OTHER: * * *

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review.

Driveways or other access points are approved only with construction drawing review. [For the

Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

OIL AND GAS: (Approved with Conditions)

Locate and identify on the plat, the P&A wellbore of API #42-329-32468. Add to Developers Notes - No structure shall be built over a plugged and abandoned (P&A) well.

GIS: (Approved)

Lot 10A can be 10B. Lot 10A also splits a house in half, confirm if this is acceptable. 17A-35A can have "A" removed. Check coordinate by lot 4A. Lot 1, Block 1 has a corner clip, confirm bounds. Buena is misspelled. Legal should show 10A not 10 and how much of 9B. (9B, 10A and 11 are part of Sec 3) Legal should show the acreage of the unplatted land to be added. (lots 17+) (if it is the 19 acre portion, discuss with Planning if it should be reworded) Plat is in the City, mention in legal.

ADDRESSING: (Approved with Conditions)

City & City Subdivision Information needs to be added to replat legal information. Verify boundaries, block and lot information for existing legal information not being replatted and for the replat in whole. Verify all with Domingo. Street LINDAVIDA Drive, s/b LINDA VIDA Drive. Street BUEA VIDA VIDA DRIVE, s/b BUENA VIDA CIRCLE.

CRMWD: (Approved)

We do not have any comments on this plat.

HEALTH: (Approved)

Yes, the health department will review applications from the 34 proposed lots of Vista Del Pueblo, Section 4, RE-PLAT OF LOTS 1-4,10,11,14-16 BLOCK 1 VISTA DEL PUEBLO AN ADDITION TO THE CITY OF MIDLAND PER PLAT RECORD IN CABINET H PAGE 389, 19.86 ACRE OUT OF 30 ACRE TRACT IN SOUTH 1/4TH OF SECTION 29, BLOCK 38, T-1-S T&P RR CO SURVEY, MIDLAND COUNTY TEXAS, each lot is 1 acre, to ensure the proposed plans on the application for the septic system will meet the setbacks from the water well on the property and the water wells on the adjacent properties.

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat located within the Extraterritorial Jurisdiction (ETJ) and has no objection at this time. The applicant is advised to coordinate with the appropriate fire authority with jurisdiction to ensure compliance with all applicable fire code requirements, including, but not limited to, fire apparatus access and water supply for fire protection.

PLANNING: (Denied)

Denied per City Code Sect. [11-2-3(D)8] Drainage report is required during preliminary stage of

the platting process

Legal description should read "Being a replat of Lots 1,2,3,4,11,14,15, and 16, Block 1, Vista Del Pueblo, Lot 10A, Block 1, Vista Del Pueblo, Section 3, City and County of Midland, Texas and a plat of 19.86-acre tract of land out of Section 29, Block 38, T-1-S, T&P RR Co Survey, City and County of Midland, Texas." [Informational]

Update chairman to Joshua Sparks. [Informational]

Groundwater is not being used for this subdivision. Instead, the subdivision will be served by City utilities. [Informational]

Staff recommends denial of the Preliminary Plat of Vista Del Pueblo, Section 4.

Should Planning and Zoning approve this plat, staff recommends that it be subject to the following conditions:

Conditions:

- A. Approval by the City Council shall be required prior to consideration of a final plat by the Commission on which any preliminary plat is ten hectares (25 acres) or more. [11-2-3(D)11(a)(6)].**
- B. Approval of this replat is contingent upon the approval of the associated zone change amendment. [11-2-3(H)5(d)]**
- C. Public improvements must be completed or a request for a deferral letter must be submitted by Final Plat submittal. [11-2-3(G)1]**
- D. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**
- E. Drainage report must be approved by Preliminary Plat submittal. [11-2-3(D)8]**

Attachments:

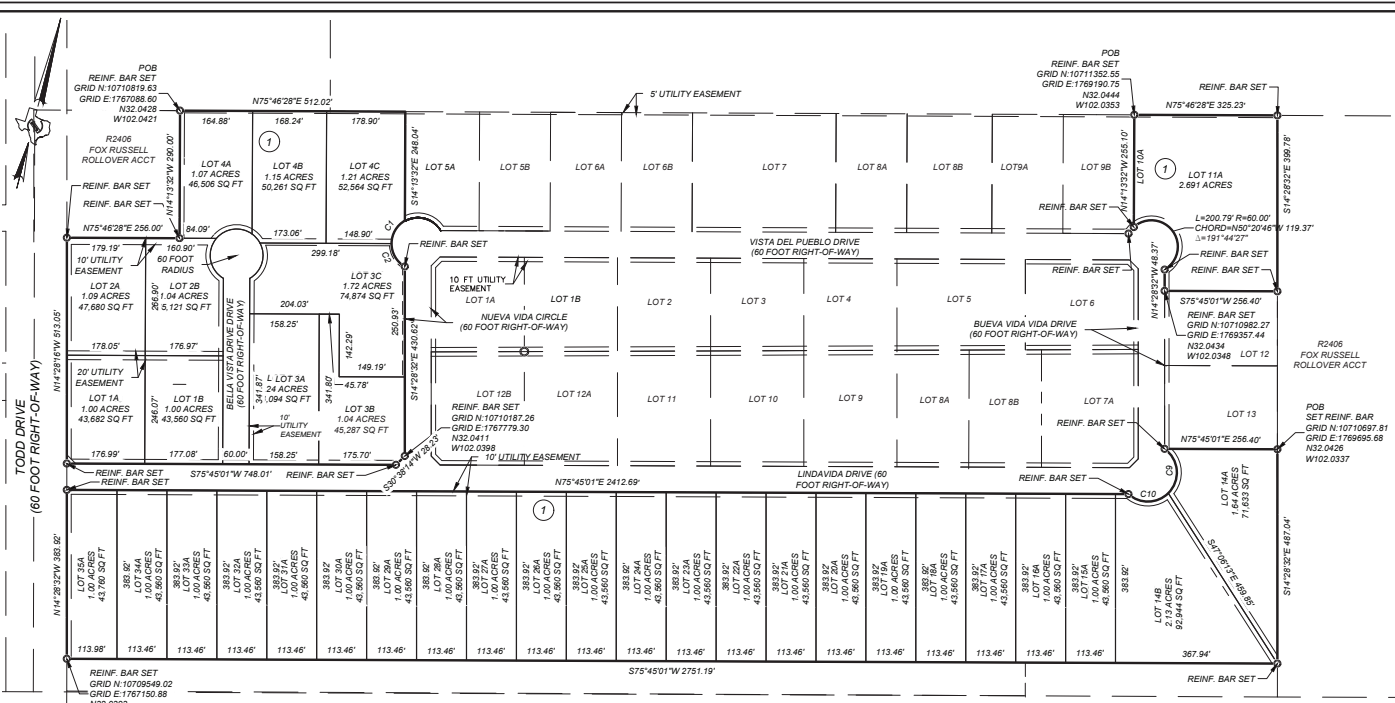
- A. P-26-2555, Combined files
- B. P&Z - - Denial- Vista Del Pueblo, Section 4 Preliminary Plat - Copy

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/12/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT

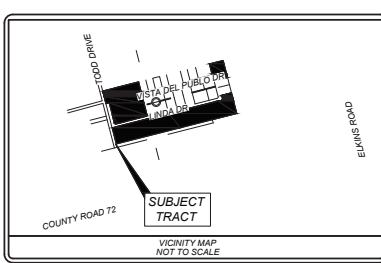
VISTA DEL PUEBLO SECTION 4
BEING A REPLAT OF LOTS 1, 2, 3, 4, 10, 11, 14, 15, 16 BLOCK 1,
VISTA DEL PUEBLO AN ADDITION TO THE CITY OF MIDLAND
AS PER PLAT OF RECORD IN CABINET H, PAGE 389, PLAT RECORDS,
RECORDS, 19.86 ACRE OUT OF A 30.00 ACRE TRACT OF LAND
IN THE SOUTH ONE FOURTH OF SECTION 29, BLOCK 38, T-1-S,
T&P RR CO SURVEY, MIDLAND COUNTY, TEXAS



STATE OF TEXAS & COUNTY OF MIDLAND & OWNERS CERTIFICATE:
WHEREAS, MIDESSA HOMES LLC IS THE RECORD OWNER OF TRACTS OF LAND SITUATED IN LOTS 1, 2, 3, 4, 10, 11, 14, 15, 16 BLOCK 1, VISTA DEL PUEBLO AND ALL OF 30.00 ACRE TRACT OF LAND IN THE SOUTH ONE FOURTH OF SECTION 29, BLOCK 38, T-1-S, T&P RR CO SURVEY, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED (AS FOLLOWS):
FIELD NOTE DESCRIPTION OF A 15.40 ACRE TRACT OF LAND, BEING ALL OF LOT 1-4, BLOCK 1, VISTA DEL PUEBLO AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN CABINET H, PAGE 389, PLAT RECORDS, MIDLAND COUNTY, TEXAS, SAID 12.40 ACRE TRACT DESCRIBED MORE FULLY BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A REINFORCING BAR SET (N10710819.63, E1767088.60) FOR THE NORTHWEST CORNER OF THIS TRACT SAME BEING THE NORTHWEST CORNER OF THAT LOT 4, BLOCK 1;
THENCE NORTH 75°46'28" EAST 512.02 FEET TO A REINFORCING BAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
THENCE SOUTH 14°13'32" EAST 248.04 FEET TO A REINFORCING BAR SET FOR A CORNER OF THIS TRACT;
THENCE 62.83' ALONG A CURVE WITH A RADIUS OF 60.00' AND A DELTA ANGLE OF 59°29'44" AND A CHORD BEARING OF SOUTH 15°46'37" WEST 60.00 FEET TO A REINFORCING BAR SET IN THE WEST RIGHT-OF-WAY LINE OF VISTA DEL PUEBLO DRIVE AND IN THE NORTH RIGHT-OF-WAY LINE NUEVA DIA CIRCLE FOR THE SOUTHEAST CORNER OF THIS TRACT;
THENCE 63.10' ALONG A CURVE WITH A RADIUS OF 60.00' AND A DELTA ANGLE OF 60°15'20" AND A CHORD BEARING OF SOUTH 44°20'54" EAST 60.23 FEET TO A REINFORCING BAR FOUND IN THE WEST RIGHT-OF-WAY LINE OF VISTA DEL PUEBLO DRIVE AND IN THE WEST RIGHT-OF-WAY LINE NUEVA DIA CIRCLE FOR THE SOUTHEAST CORNER OF THIS TRACT;
THENCE SOUTH 14°28'32" EAST 430.62 FEET TO A REINFORCING BAR SET IN THE WEST RIGHT-OF-WAY LINE NUEVA DIA CIRCLE FOR A CORNER OF THIS TRACT;
THENCE SOUTH 30°38'14" WEST 28.23 FEET TO A REINFORCING BAR SET IN THE WEST RIGHT-OF-WAY LINE NUEVA DIA CIRCLE AND IN THE NORTH RIGHT-OF-WAY LINE OF LINDAVIDA DRIVE FOR THE SOUTHEAST CORNER OF THIS TRACT;
THENCE SOUTH 75°45'01" WEST 748.01 FEET TO A REINFORCING BAR SET IN THE NORTH RIGHT-OF-WAY LINE OF LINDAVIDA DRIVE AND IN THE EAST RIGHT-OF-WAY LINE OF TODD DRIVE THE SOUTHWEST CORNER OF THIS TRACT;
THENCE NORTH 14°28'16" WEST 515.05 FEET TO A REINFORCING BAR SET IN THE EAST RIGHT-OF-WAY LINE OF TODD DRIVE FOR A CORNER OF THIS TRACT;
THENCE NORTH 75°46'28" EAST 256.0 FEET TO A REINFORCING BAR SET FOR A CORNER OF THIS TRACT;
THENCE NORTH 14°13'32" WEST 290.00 FEET TO THE PLACE OF BEGINNING.
AREA, BEARINGS AND DISTANCES SHOWN ARE GRID MEASUREMENTS BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.

CURVE TABLE

CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	62.83	60.00	059°59'44"	S15°46'37"W	60.00
C2	63.10	60.00	060°15'20"	S44°20'54"E	60.23
C3	115.27	65.81	100°12'19"	N19°16'19"W	101.13
C10	99.87	65.81	086°49'03"	N04°14'25"E	90.58



- LEGEND:
- UTILITY EASEMENT
 - MONUMENT AS DESCRIBED
 - PROPERTY LINE
 - ADJOINING PROPERTIES
 - ABSTRACT LINE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES:
SIGNED: _____ ONCOR ELECTRIC DELIVERY COMPANY
SIGNED: _____ AT&T TEXAS
SIGNED: _____ ATMOS ENERGY
SIGNED: _____ OPTIMUM COMMUNICATIONS
SIGNED: _____ ASTOUND COMMUNICATIONS

FIELD NOTE DESCRIPTION OF A 24.78 ACRE TRACT OF LAND, LOCATED IN THE SOUTH ONE FOURTH OF SECTION 29, BLOCK 38, T-1-S, T&P RR CO SURVEY, MIDLAND COUNTY, TEXAS, BEING A PART OF THAT CALLED 30.00 ACRE TRACT OF LAND DESCRIBED IN THE WARRANTY DEED WITH VENDORS LIEN DATED OCTOBER 15, 2013, TO MIDESSA HOMES LLC RECORDED IN DOCUMENT NUMBER 2013-25115, OFFICIAL PUBLIC RECORDS OF MIDLAND COUNTY, TEXAS AND BEING ALL OF LOT 14-16, BLOCK 1, VISTA DEL PUEBLO AN ADDITION TO THE CITY OF MIDLAND AS PER PLAT OF RECORD IN CABINET H, PAGE 389, PLAT RECORDS, MIDLAND COUNTY, TEXAS. SAID 24.78 ACRE TRACT DESCRIBED MORE FULLY BY METES AND BOUNDS AS FOLLOWS:
BEGINNING AT A REINFORCING BAR SET (N10710697.81, E176865.68) FOR THE NORTHEAST CORNER OF THIS TRACT SAME BEING THE NORTHEAST CORNER OF THAT CALLED LOT 14;
THENCE SOUTH 14°28'32" EAST 487.04 FEET TO A REINFORCING BAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;
THENCE SOUTH 75°45'01" WEST 2751.19 FEET TO A REINFORCING BAR SET IN THE EAST RIGHT-OF-WAY LINE OF TODD DRIVE FOR THE SOUTHWEST CORNER OF THIS TRACT;
THENCE NORTH 75°45'01" WEST 2412.69 FEET TO A REINFORCING BAR SET FOR A CORNER OF THIS TRACT;
THENCE 99.87' ALONG A CURVE WITH A RADIUS OF 65.91' AND A DELTA ANGLE OF 86°49'03" AND A CHORD BEARING OF NORTH 74°14'25" EAST 90.58 FEET TO A CORNER OF THIS TRACT;
THENCE 115.27' ALONG A CURVE WITH A RADIUS OF 65.91' AND A DELTA ANGLE OF 100°12'19" AND A CHORD BEARING OF NORTH 19°16'19" WEST 101.13 FEET TO A REINFORCING BAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
THENCE NORTH 75°45'01" EAST 256.40 FEET TO THE PLACE OF BEGINNING.

AREA, BEARINGS AND DISTANCES SHOWN ARE GRID MEASUREMENTS BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.

ACKNOWLEDGEMENT:
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT I DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINBOVE DESCRIBED PROPERTY AS VISTA DEL PUEBLO SECTION 4, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND, HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS (AND PARKS) (AND PARKWAYS) (AND DRAINAGE BASINS) (INCLUDE ALL THAT APPLY) SHOWN THEREON.
THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 20____
BY MIDESSA HOMES LLC.
WITNESS MY HAND AT MIDLAND, TEXAS, THIS _____ DAY OF _____ 20____
MIDESSA HOMES, L.L.C.

- NOTES:
- BEARINGS, DISTANCES AND ACREAGE SHOWN ARE BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.
 - MONUMENTS ARE A 1/2 INCH REINFORCING BAR SET WITH YELLOW PLASTIC CAP STAMPED "MAGRYM" UNLESS OTHERWISE NOTED.
 - SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
 - APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
 - INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASE OF FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
 - THE INSTALLATION OF PUBLIC IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS: (1) ANY LOT IS RE-PLATTED FOR SUBDIVISION INTO MORE THAN ONE TRACT OR (2) THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
 - PROPERTY IS IN ZONE X ACCORDING TO FEMA MAP PANEL 48329C0100F WITH AN EFFECTIVE DATE OF 9/16/2005.



CERTIFICATE OF APPROVAL:
FOR APPROVAL BY THE CITY PLANNING AND ZONING COMMISSION:
THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF VISTA DEL PUEBLO SECTION 4 WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, ON THIS _____ DAY OF _____ 20____

SIGNED: _____ CHAIRMAN: ABRAHAM BEIL
SIGNED: _____ SECRETARY: LANDON OCHOA
SURVEYOR'S CERTIFICATE:
THAT I, RJ DAUM, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MIDLAND, TEXAS.

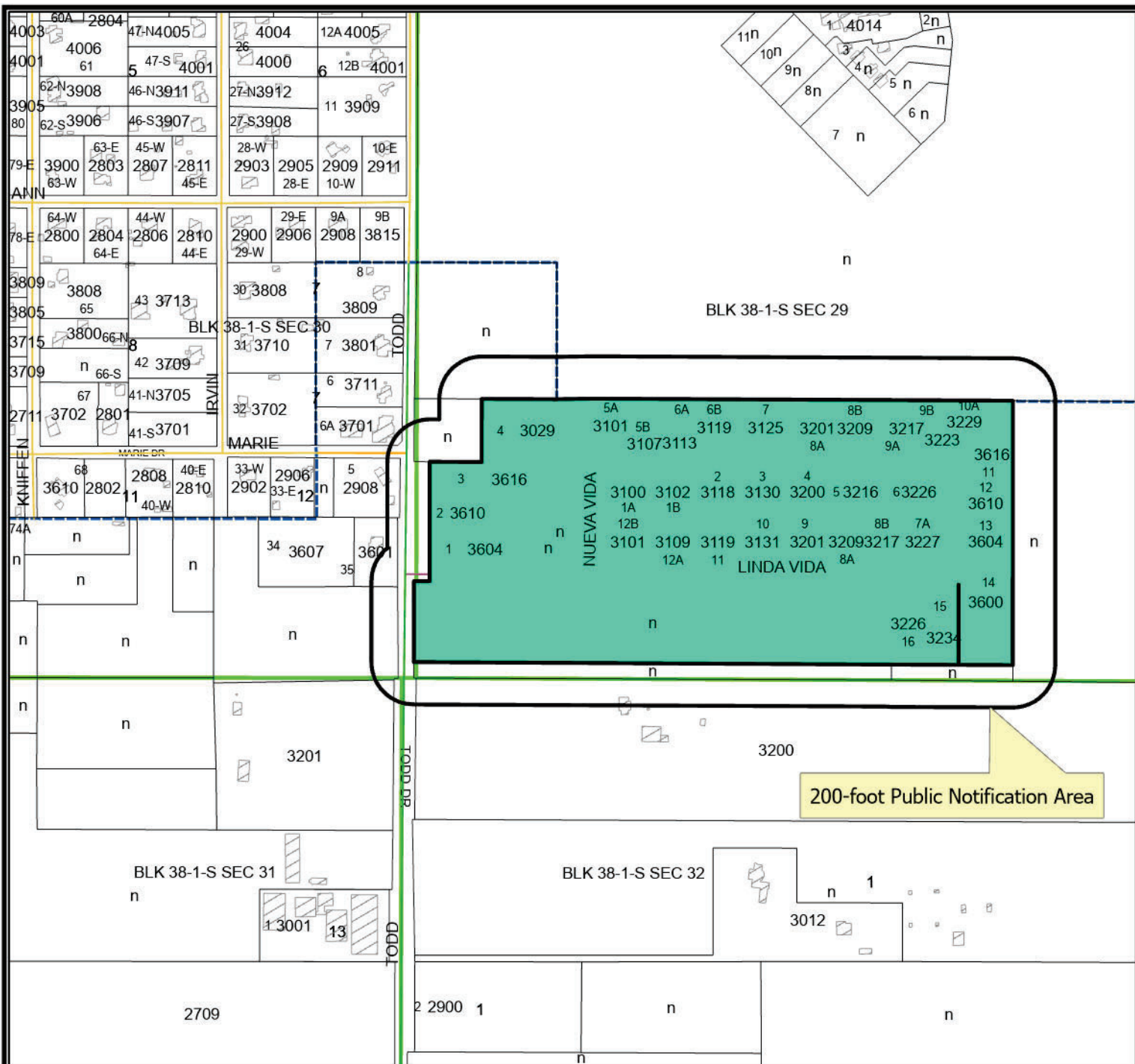
OWNER(S):
MIDESSA HOMES, L.L.C.
PO BOX 5685 MIDLAND,
TEXAS 79704
432-352-5445
DAVIDD5101@GMAIL.COM
RJ DAUM
TEXAS RPLS 4826



DATE 02/05/2026	
DRAWN BY: ED	
CHECKED BY: ED/RJ	
JOB NO. 25-722	
PROJECT: 25-722	
SHEET 1 OF 1	REVISIONS

PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS
NO. _____ CABINET _____
DATE _____ PAGE _____

Magnum Consulting, Inc.
110 W Louisiana Ave, Ste. 314
Midland, TX 79701
(432) 684-5548
www.magnum.com



Location Map

SUB-26-0974

Scale: 1" = 680'

Proposed plat of Vista Del Pueblo, Section 4, being a replat of Lots 1,2,3,4,11,14,15, and 16, Block 1, Vista Del Pueblo, Lot 10A, Block 1, Vista Del Pueblo, Section 3, City and County of Midland, Texas and a plat of 19.86-acre tract of land out of Section 29, Block 38, T-1-S, T&P RR Co Survey, City and County of Midland, Texas.

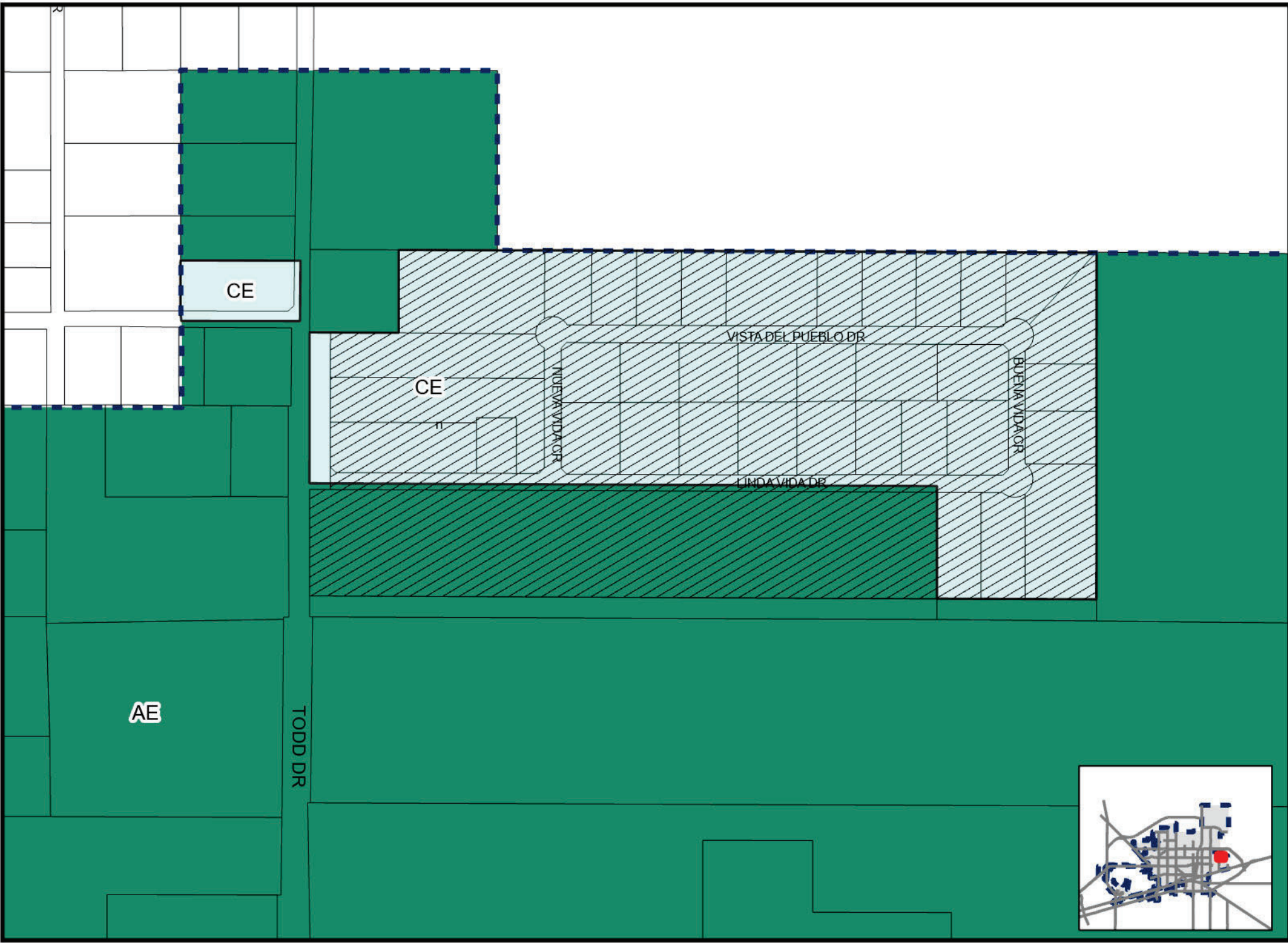
Generally located on the east side of Todd Drive, approximately 1,200 feet south of Ann Drive. (Council District 2)

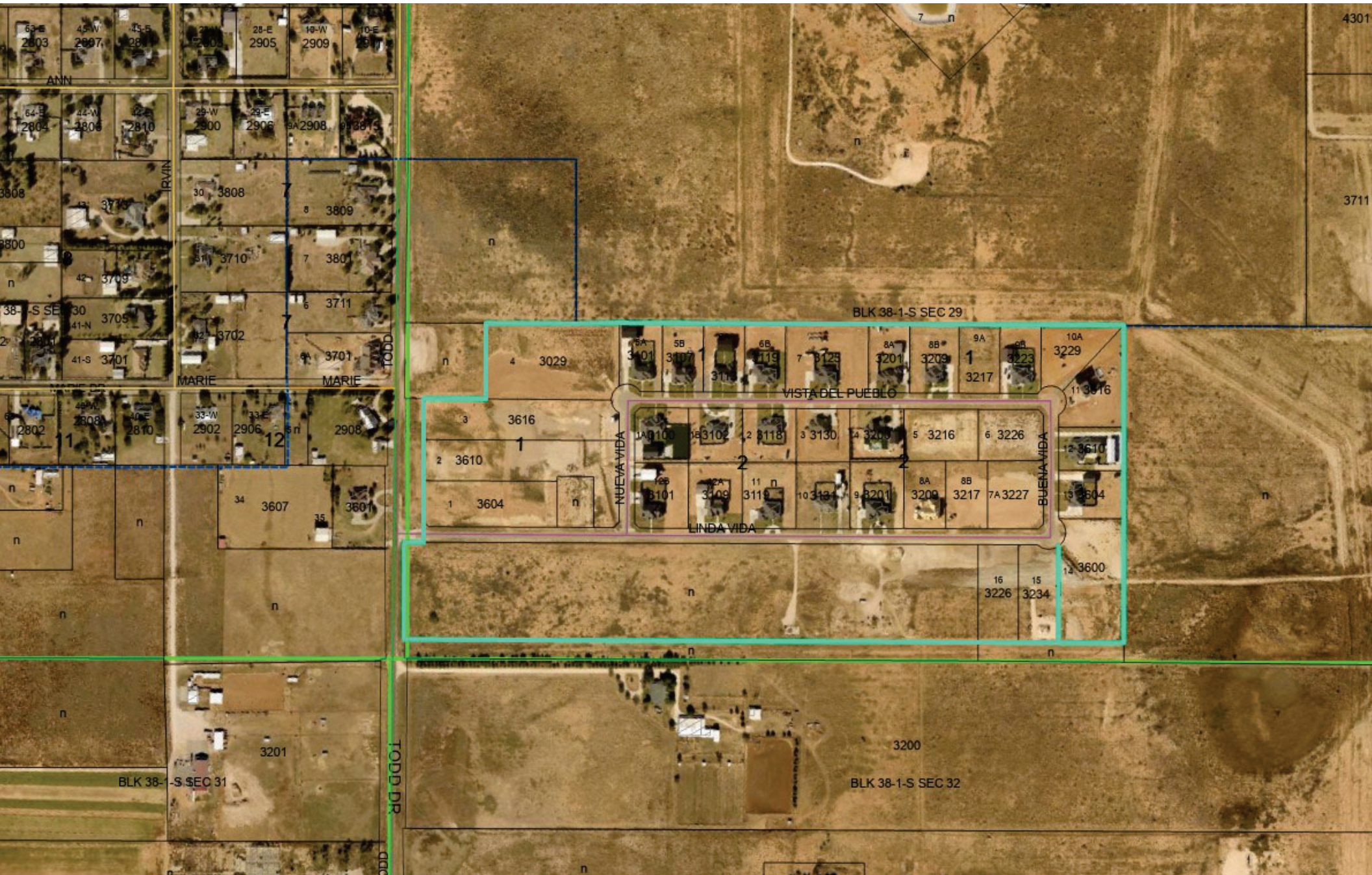
LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS

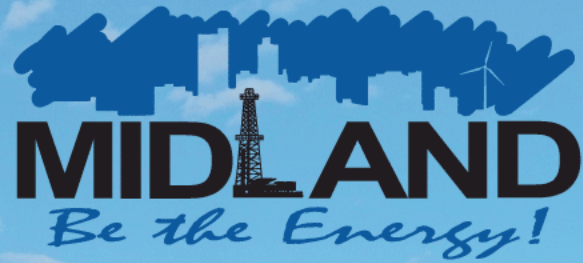


©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.









PRELIMINARY PLAT VISTA DEL PUEBLO, SECTION 4

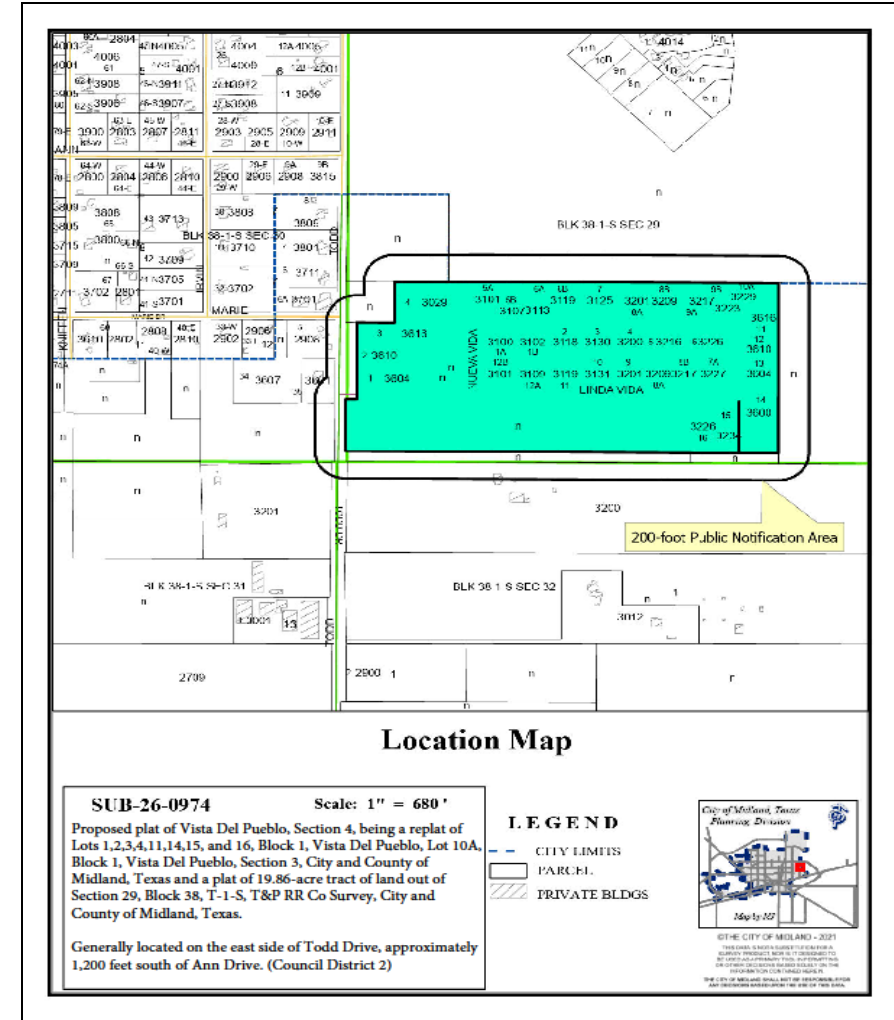


Visit Our Website

MIDLANDTEXAS.GOV

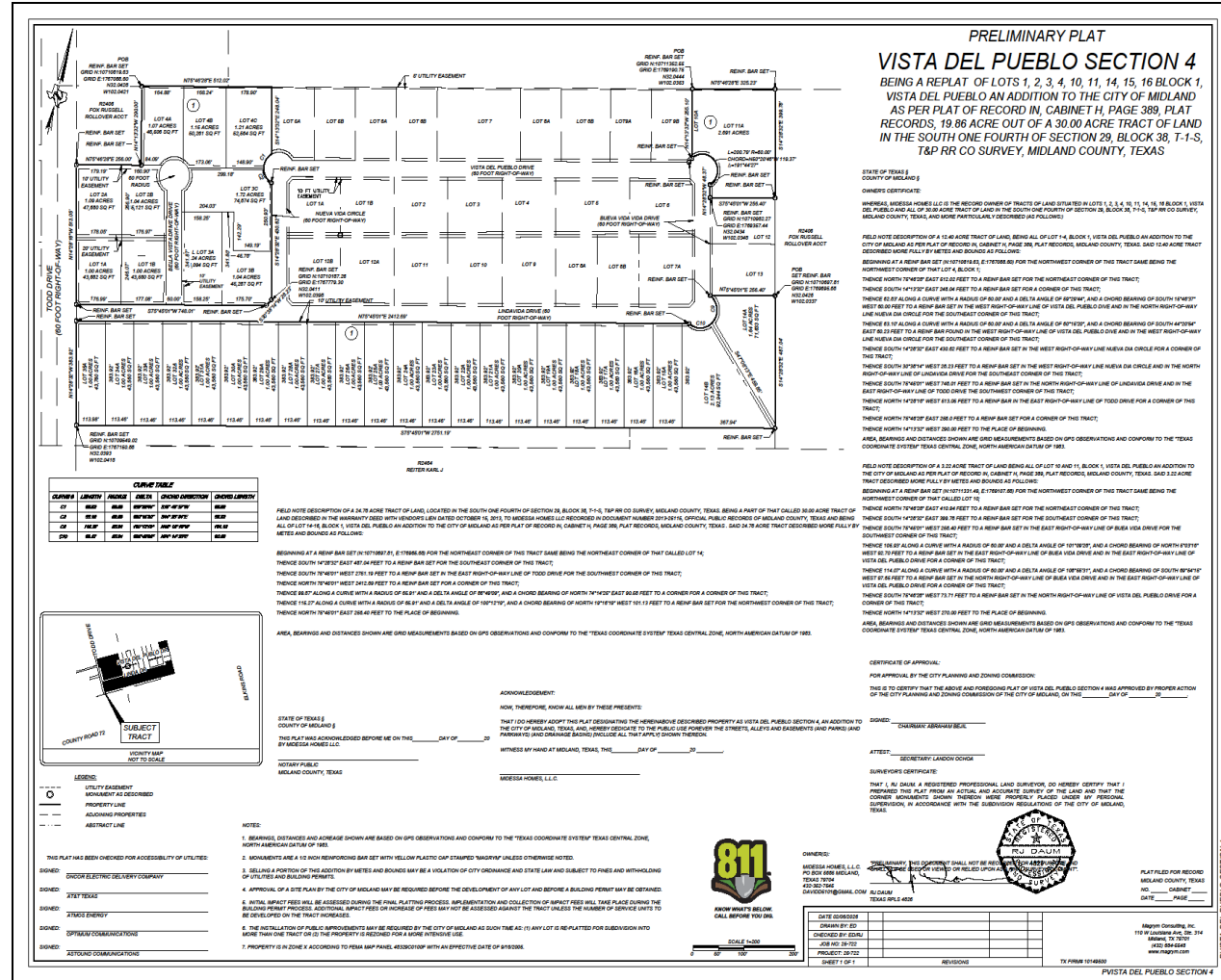
APPLICATION SUMMARY

- **Property Owner:** Midessa Homes, LLC
- **Representative:** Magrym Consulting
- **Location:** Generally located on the east side of Todd Drive, approximately 1,200 feet south of Ann Drive. (Council District 2)
- **Reason for Request:** To create a residential development



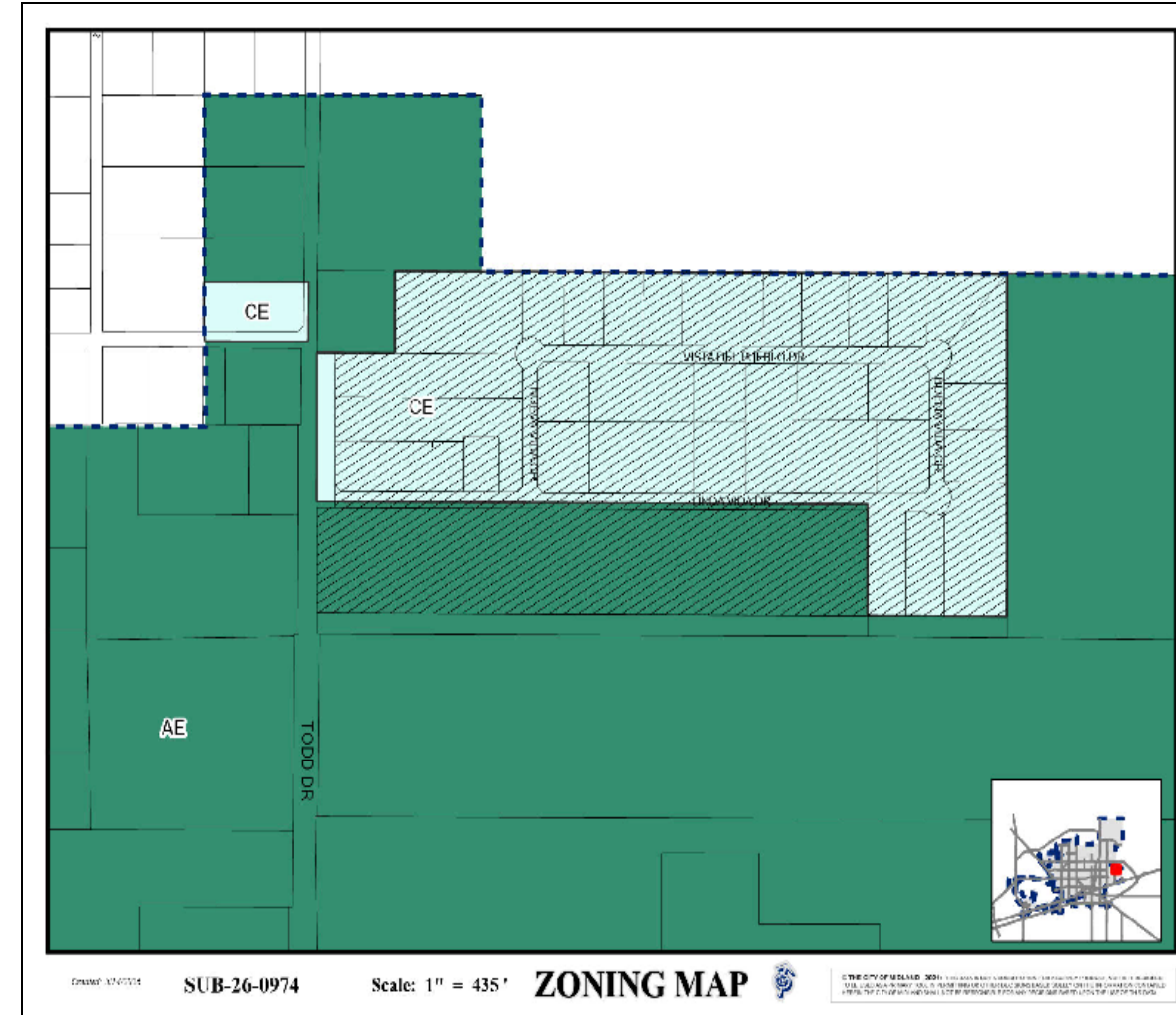
PLAT DETAILS

- Acreage: 40.4 acres
- Number of Existing Lots: 9
- Number Proposed Lots: 34



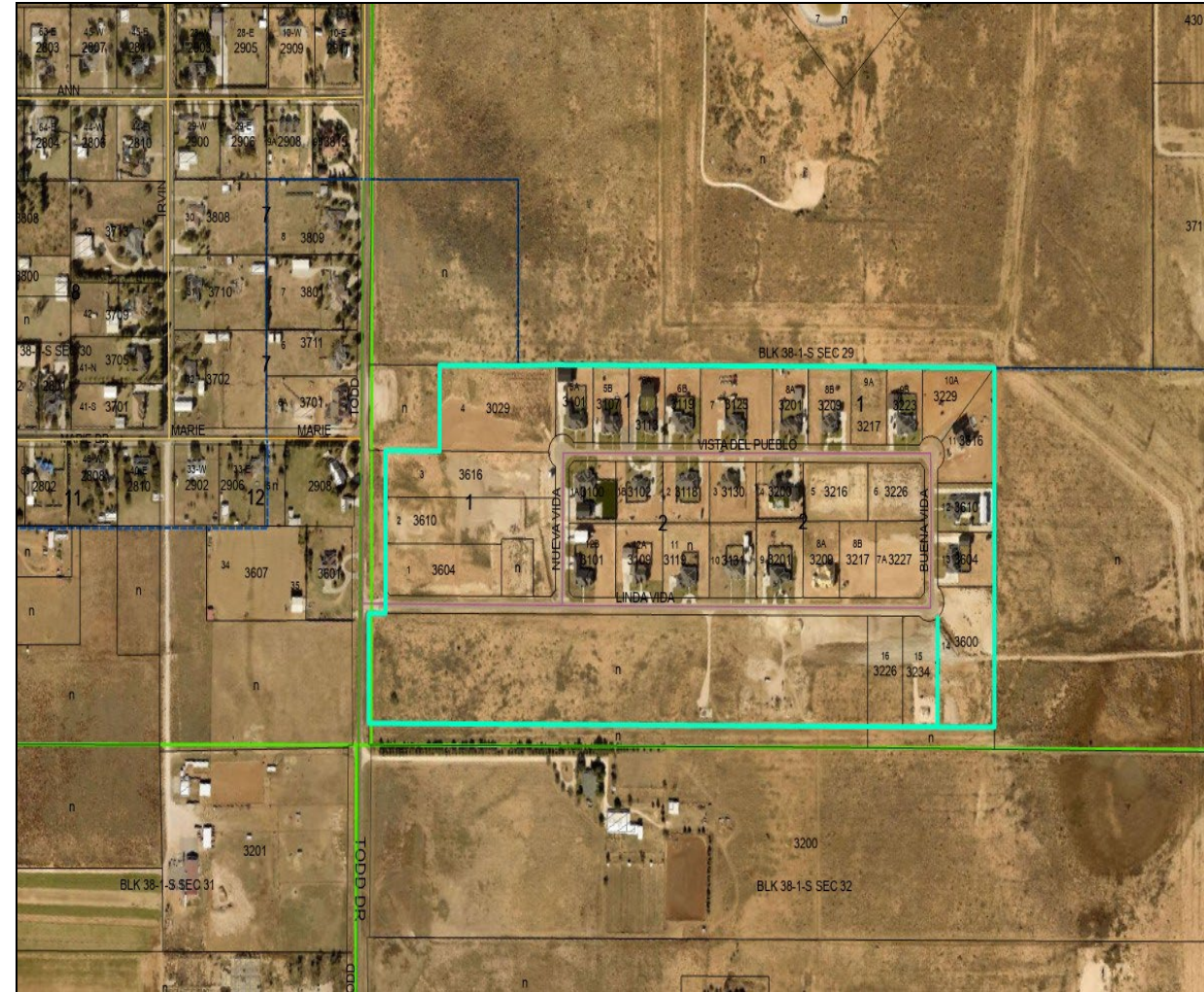
ZONING

- **Current Zoning:** CE, Country Estate District, and AE, Agricultural Estate District
- **Surrounding Zoning:**
 - **North:** Extraterritorial Jurisdiction
 - **South/East:** AE, Agricultural Estate District
 - **West:** AE, Agricultural Estate District, and CE, Country Estate District



LAND USE

- **Current Use:** Vacant
- **Surrounding Uses:**
 - **North/South/West:** Vacant and residential
 - **East:** Vacant
- **Proposed Use:** Residential development

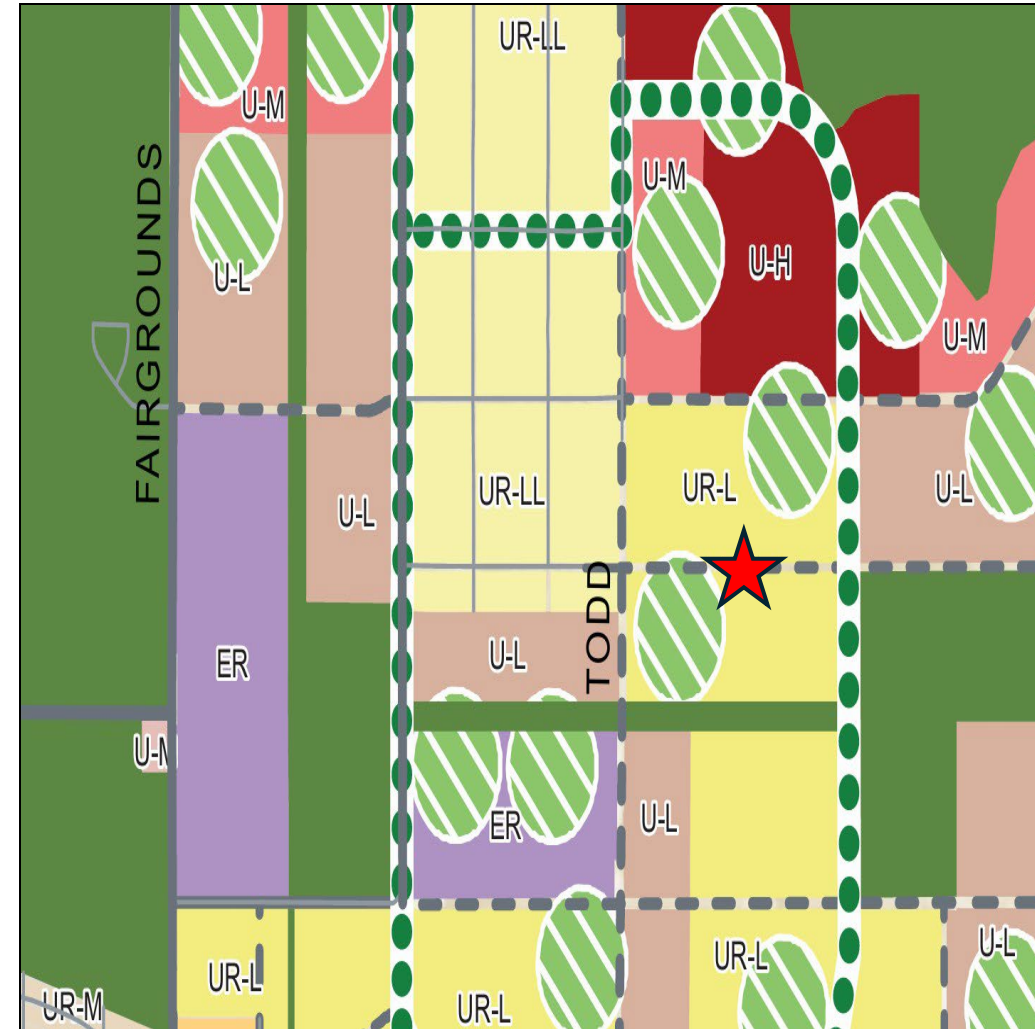




On Todd Drive, Looking East

COMPREHENSIVE PLAN

- **Land Use Designation:** UR-L, Urban Residential, Low
- **Supported Uses:** Supports restrictive land use emphasizing on single-family detached.
- The request is compatible with the *Tall City Tomorrow Comprehensive Plan*.



RELATED ITEMS

- A request for a zone change for this property to change from AE, Agricultural Estate District to CE, Country Estate District has been submitted.



STAFF'S RECOMMENDATION

- One objection was received.
- Staff recommends denial of this request, should this request be approved, staff recommends that it be subject to the following conditions:
 - A. Approval by the City Council shall be required prior to consideration of a final plat by the Commission on which any preliminary plat is ten hectares (25 acres) or more. [11-2-3(D)11(a)(6)].



STAFF'S RECOMMENDATION

- B. Approval of this replat is contingent upon the approval of the associated zone change amendment. [11-2-3(H)5(d)]
- C. Public improvements must be completed or a request for a deferral letter must be submitted by Final Plat submittal. [11-2-3(G)1]
- D. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

11



MIDLAND
Be the Energy!

STAFF'S RECOMMENDATION

E. Drainage report must be approved by Preliminary Plat submittal. [11-2-3(D)8]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 16.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Lori Elliott, Planner
Subject: Motion approving, with staff's recommended conditions, a Preliminary Plat of Basin View Estate, being a plat of a 2.06-acre tract of land out of Section 27, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas. (Generally located on the east side of North County Road 1135, approximately 730 feet south of East County Road 60.)

Purpose:

Eduardo Aleman, on behalf of Juarez Guillermo, is requesting to plat a 2.06-acre tract of land generally located on the east side of North County Road 1135 into one lot in order to obtain septic permits for future commercial development.

Recommended Action:

Deny

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Details of Request:

Eduardo Aleman, on behalf of Juarez Guillermo, is requesting to plat a 2.06-acre tract of land generally located on the east side of North County Road 1135 into one lot in order to obtain septic permits for future commercial development.

Current Zoning:

ETJ, Extraterritorial Jurisdiction

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

ETJ, no jurisdiction. All septic systems are permitted and regulated by the City of Midland Health Department.

ADDRESSING: (Approved)

County Plat - To be addressed by MECD

ENGINEERING: (Denied)

The GAC must be submitted by the preliminary phase and accepted before the plat can move to the final phase. The GAC must be accepted before a determination can be made on the deferral request. ** Denied per City Code Sect. 11-2-3(D)8. Drainage report is required during preliminary stage of the platting process.***

IMPACT FEES: There are no impact fees associated with this plat. Plat outside designated service areas. Note not required. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.] PAVING: CR 1135 road is sub-standard, construct to City Standards for entire platted frontage or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

WATER: None existing. Construct water to City standards along entire platted frontage, or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)] If they are requesting to deferral public water improvements and plan on utilizing water wells, then a Groundwater Availability Certification will be required. In Texas, the requirement for a Groundwater Availability Certification (GAC) applies to all proposed subdivisions that intend to use groundwater as their potable water source, regardless of the development's size. This mandate became effective on January 1, 2024, following the adoption of Senate Bill 2440 during the 88th Texas Legislature. Under Texas Local Government Code Sections 212.0101 and 232.0032, any subdivision—whether within a municipality or in an unincorporated area—that proposes to utilize groundwater for its water supply must obtain a GAC. This includes subdivisions where each lot will have an individual well. The certification must be prepared by a Texas-licensed professional engineer or geoscientist and submitted as part of the plat application to the relevant municipal or county authority.

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: None existing. Construct wastewater to City standards along entire platted frontage, or request a deferral. [Reference Midland City Code Sect. 11-2-3(G)1 & 11-2-4(A)2(a)]

DRAINAGE: Drainage report is required during preliminary stage of the platting process. Show the existing contours on the plat face of the preliminary plat. Provide a detailed report comparing pre vs post, including an evaluation of any off-site drainage that may currently flow through the property. [Reference Midland City Code 11-2-3(D)8]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

TRANSPORTATION: (Approved)

No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat located within the Extraterritorial Jurisdiction (ETJ) and has no objection at this time. The applicant is advised to coordinate with the appropriate fire authority with jurisdiction to ensure compliance with all applicable fire code requirements, including, but not limited to, fire apparatus access and water supply for fire protection.

OIL AND GAS: (Approved)

No issues.

GIS: (Approved)

Provide another set of x-y coordinates.

OPTIMUM: (Approved)

No conflicts with this plat.

PUBLIC WORKS: (Approved)

Would the property owner consider dedicating an additional 15' of ROW on the western edge of their lot adjacent to the existing CR 1135 easement?

CRMWD: (Approved)

No comments or issues.

HEALTH DEPARTMENT: (Approved)

Yes, the health department will review application from the 1 proposed lot of Basin View Estate, PLAT OF A 2 ACRE TRACT OF LAND IN THE NORTH EAST 1/4 OF SECTION 27, BLOCK 38, T-1-S, T. & P. RR. CO. SURVEY the lot is 2 acre to ensure the proposed plans on the application for the septic system will meet the setbacks from the water well on the property and the water wells on the adjacent properties.

PLANNING: (Approved)

Groundwater is the intended water source for the subdivision; applicant states there are existing water wells. Reports to be submitted for approval by Engineering. [Informational]

Remove all buildings from plat face. [Informational]

Change your legal description to match the one I've provided [Informational]

Remove the extra "the" in the certificate of approval [Informational]

The acknowledgement mentions the plat as "an addition to the City of Midland" however, this plat is not within city limits- please remove [Informational]

Staff recommends denial of the Preliminary Plat of Basin View Estate, due to Engineering's denial.

If the Commission should approve, Staff recommends approval of the Preliminary Plat of Basin View Estate, subject to the following conditions.

Conditions:

A. Approval of this preliminary plat is conditioned upon public improvements being completed prior to the approval of a final plat by the City or with an exception when waived or deferred by the Council. Midland City Code 11-2-3(G)1 & 11-2-4(A)2(a).

B. Drainage report must be submitted by Final Plat submittal. [11-2-3(D)8]

C. All certificates must be written as detailed in Section 11-2-3 Platting Procedures by Final Plat submittal. [11-2-3(H)3(m)(1)]

D. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

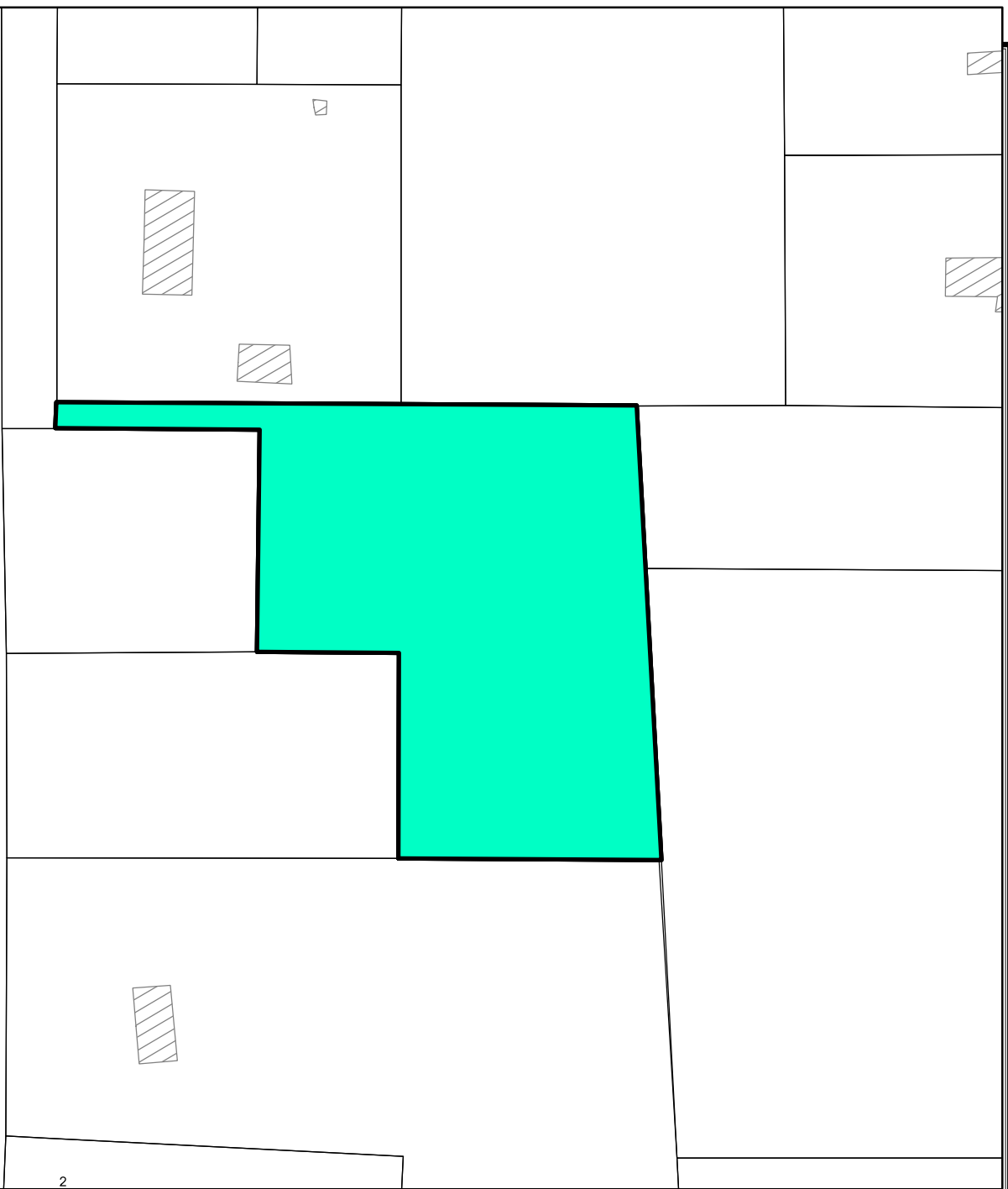
Attachments:

A. P-26-2538, Basin View Estate, Combined

Lori Elliott, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026

NORTH COUNTY ROAD 1135



Location Map

SUB-26-0968

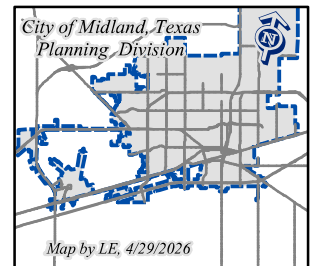
Scale: 1" = 800'

Proposed plat of Basin View Estate, being a plat of a 2.06-acre tract of land out of Section 27, Block 38, T-1-S, T&P RR Co. Survey, Midland County, Texas.

Generally located on the east side of North County Road 1135, approximately 730 feet south of East County Road 60. (Extraterritorial Jurisdiction)

LEGEND

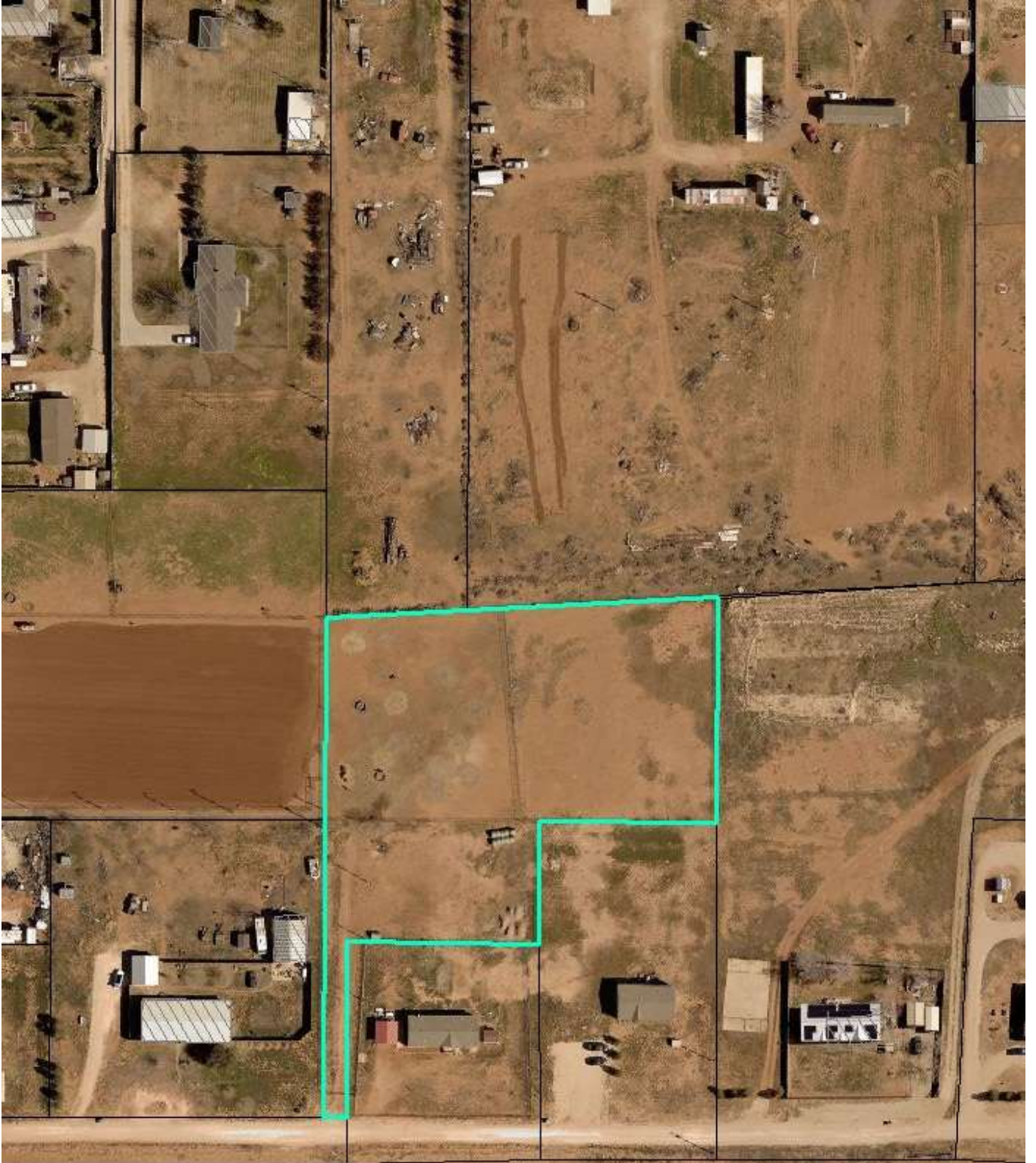
- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



NORTH COUNTY ROAD 135



Planning and Zoning Commission Meeting

Item Number: 17.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Lori Elliott, Planner
Subject: Motion approving, with staff's recommended conditions, a Preliminary Plat of Ranchland Acres, Section 3, being a plat of a 2.82-acre tract of land out of Section 7, Block 39, T-2-S, T&P RR Co. Survey, City and County of Midland, Texas. (Generally located on the south side of West Interstate 20, approximately 210 feet east of South Butterfield Trail.)

Purpose:

Eduardo Aleman, on behalf of Benjamin Ortega, is requesting to plat a property generally located on the south side of West Interstate 20 in District 2. The applicant is platting in order to obtain an address for future commercial development.

Recommended Action:

Approve with Conditions

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Details of Request:

Eduardo Aleman, on behalf of Benjamin Ortega, is requesting to plat a property generally located on the south side of West Interstate 20 in District 2. The applicant is platting in order to obtain an address for future commercial development.

Current Zoning:

BP, Business Park I-20

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ADDRESSING: (Approved)

Lot & Block Information are missing on replat drawing. Verify with Domingo. City needs to be added to the replat legal description. South County Road 1223 1/2 s/b S Butterfield Trail.

ENGINEERING: (Approved with Conditions)

IMPACT FEES: Okay as Shown. [For Applicant's Information Only.]

ROW: Refer to Transportation's Comment's. [For Applicant's Information Only.]

PAVING: I-20 Frontage roadway okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: None existing. Construct water to City standards along entire platted frontage, or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: None existing. Construct to City standards along entire platted frontage, serving all lots within the subdivision and to adjacent lot lines along exterior roadways. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

DRAINAGE: Drainage report is required during preliminary stage of the platting process. [Reference Midland City Code 11-2-3(D)8]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

TRANSPORTATION: (Approved with Conditions)

Driveway permitting within city limits on I-20, LP 250, SH 191, and FM 1788 is under the jurisdiction of TxDOT. A copy of an approved TxDOT driveway permit must be provided to the City with the building permit application before a City building permit can be issued.

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No comments or issues.

GIS: (Approved)

Is a corner clip needed? Label lot and block (cannot be 1) Label surrounding subdivisions. Legal should show this is in the City. Streets are in the City and have street names, please label. Why are there two I20 streets and one showing 30'? Confirm with Transportation. Label alley just west of this plat (with width)

CRMWD: (Approved)

No comments or issues.

HEALTH DEPARTMENT: (Approved)

Yes, the health department will review application from the 1 proposed lot of Ranchland Acres, Section 3, PLAT OF A 2.8 ACRE TRACT OF LAND IN THE NORTH PART OF SECTION 7, BLOCK 39, T-2-S, T. & P. RR. CO. SURVEY the lot is 2.8 acre to ensure the proposed plans on the application for the septic system will meet the setbacks from the water well on the property and the water wells on the adjacent properties.

PLANNING: (Approved with Conditions)

Groundwater is the intended water source for the subdivision; applicant states there are existing water wells. Reports to be submitted for approval by Engineering. [Informational]

Change your legal description to match the one I've provided. [Informational]

Confirm lot and block numbering for surrounding platted lots [11-2-3(C)2(b)(6)]

Change Chairman to Joshua Sparks. [Informational]

Staff recommends approval of the Preliminary Plat of Ranchland Acres, Section 3, subject to conditions A through C.

Condition:

A. Drainage report must be submitted by Final Plat submittal. [11-2-3(D)8]

B. Approval of this preliminary plat is conditioned upon public improvements being completed prior to the approval of a final plat by the City or with an exception when waived or deferred by

the Council. Midland. [11-2-3(G)1] & [11-2-4(A)2(a)]

C. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

Attachments:

- A. P-26-2537, Ranchland Acres, Section 3, Combined
- B. P&Z - - Ranchland Acres, Section 3 Prelim

Lori Elliott, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT RANCHLAND ACRES SECTION 3 MIDLAND COUNTY, TEXAS

BEING A 2.82 ACRE TRACT OF LAND IN THE NORTH PART OF SECTION 7, BLOCK 39, T-2-S, T & P, RR CO. SURVEY, MIDLAND COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF MIDLAND §
OWNERS CERTIFICATE
WHEREAS, BENJAMIN ORTEGA IS THE RECORD OWNER(S) OF A TRACT OF LAND SITUATED IN THE NORTH PART OF SECTION 7, BLOCK 39, T-2-S, T & P, RR CO. SURVEY, MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FIELD NOTE DESCRIPTION OF A 2.82 ACRE TRACT OF LAND, LOCATED IN THE NORTH PART OF SECTION 7, BLOCK 39, T-2-S, T & P, RR CO. SURVEY, MIDLAND COUNTY, TEXAS, BEING ALL OF THAT CALLED 2.82 ACRE TRACT OF LAND DESCRIBED IN THE WARRANTY DEED WITH RECORD NO. 439-599-4887, FILED FOR RECORD IN THE PUBLIC RECORDS OF MIDLAND COUNTY, TEXAS, SMD 2.82 ACRE TRACT DESCRIBED MORE FULLY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A REINFB BAR SET (N-10579895.72, E-1740234.33) IN THE SOUTH RIGHT-OF-WAY LINE OF WEST INTERSTATE 20 FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 14°30'50" EAST 446.24 FEET TO A REINFB BAR FOUND FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE NORTH 64°11'45" WEST 24.11 FEET TO A REINFB BAR FOUND FOR A CORNER OF THIS TRACT;

THENCE SOUTH 69°39'10" WEST 278.89 FEET TO A REINFB BAR FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 14°44'17" WEST 425.24 FEET TO A REINFB BAR SET IN THE SOUTH RIGHT-OF-WAY LINE OF WEST INTERSTATE 20 FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE NORTH 59°54'11" EAST 299.55 FEET TO THE PLACE OF BEGINNING.

AREA, BEARINGS AND DISTANCES SHOWN ARE GRID MEASUREMENTS BASED ON GPS OBSERVATIONS AND CONFORM TO THE TEXAS COORDINATE SYSTEM "TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983."

ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS,

THAT I, JOSE LUIS ORTEGA, DO HEREBY ACKNOWLEDGE THIS PLAT DESCRIBING THE HEREIN ABOVE DESCRIBED PROPERTY AS RANCHLAND ACRES SECTION 3, IN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS (AND PARKS) (AND PARKWAYS) (AND DRAINAGE BASINS) (INCLUDE ALL THAT APPLY) SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS, THIS _____ DAY OF _____, 20____.

BENJAMIN ORTEGA

STATE OF TEXAS

COUNTY OF MIDLAND §

THIS PLAT WAS APPROVED BEFORE ME ON THIS _____ DAY OF _____, 20____, BY BENJAMIN ORTEGA.

NOTARY PUBLIC

MIDLAND COUNTY, TEXAS

CERTIFICATE OF APPROVAL:

FOR APPROVAL BY THE CITY PLANNING AND ZONING COMMISSION:

THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF RANCHLAND ACRES SECTION 3, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, ON THIS _____ DAY OF _____, 20____.

SIGNED: CHARMAN ABRAMAM BEAR

ATTEST: SECRETARY JUDSON TORRES

SURVEYOR'S CERTIFICATE:

THAT I, RJ DAUM, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND PERSONS OWNERSHIP RIGHTS THEREON, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF MIDLAND, TEXAS.

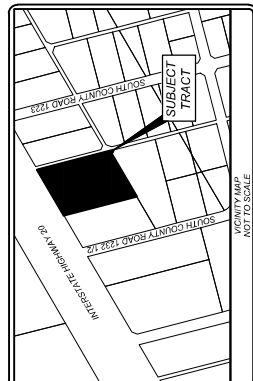
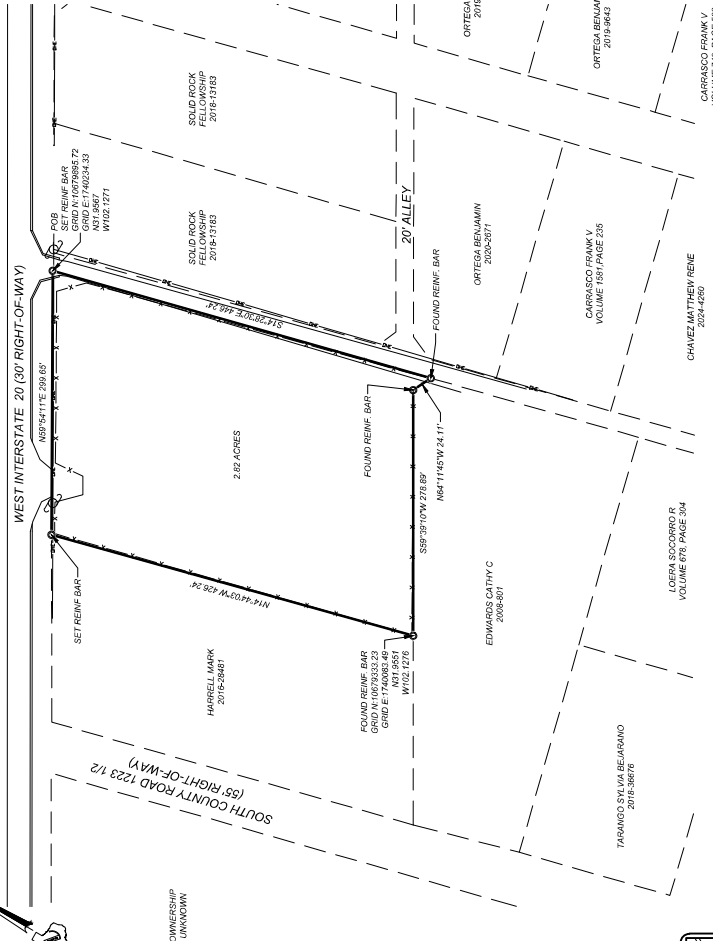


PLAT FILED FOR RECORD

MIDLAND COUNTY, TEXAS

DATE _____ PAGE _____

INTERSTATE HIGHWAY 20
(300' RIGHT-OF-WAY)



- LEGEND:
- X - FENCE LINE
 - O - OVERHEAD ELECTRIC
 - U - UTILITY POLE
 - M - UTILITY EASEMENT
 - P - MONUMENT AS DESCRIBED
 - S - PROPERTY LINE
 - D - ADJOINING PROPERTIES
 - A - ABSTRACT LINE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.

- _____
SIGNED: ONCOR ELECTRIC DELIVERY COMPANY
- _____
SIGNED: AT&T TEXAS
- _____
SIGNED: ATMOS ENERGY
- _____
SIGNED: OPTIMAX COMMUNICATIONS
- _____
SIGNED: ASTOUND COMMUNICATIONS

NOTES:

1. BEARINGS, DISTANCES AND ACREAGE SHOWN ARE BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.
2. MONUMENTS ARE A 1/2 INCH REINFORCING BAR SET WITH YELLOW PLASTIC CAP STAMPED "MAGNUM" UNLESS OTHERWISE NOTED.
3. SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
4. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
5. INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASE OF FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
6. THE INSTALLATION OF PUBLIC IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS: (1) ANY LOT IS RE-PLATTED FOR SUBDIVISION INTO MORE THAN ONE TRACT OR (2) THE PROPERTY IS RECORDED FOR A MORE INTENSIVE USE.
7. PROPERTY IS IN ZONE X ACCORDING TO FEMA MAP PANEL 48390C0184F WITH AN EFFECTIVE DATE OF 01/19/2008.



CALL BEFORE YOU DIG

SCALE: 1"=100'

OWNERS:

BENJAMIN ORTEGA
439-599-4887
JOSE L. ORTEGA@OUTLOOK.COM TEXAS 9413-4556

DATE: 02/22/2016
DRAWN BY: ED
CHECKED BY: ED
JOB NO.: 26-237
PROJECT: 26-237

REVISIONS

NO.	DATE	DESCRIPTION

MAGNUM
TX FIRM 01-18500

Magnum Consulting, Inc.
110 W. Louisiana Ave., Ste. 314
Midland County, Texas
409-684-2447
www.magnum.com



Location Map

SUB-26-0967

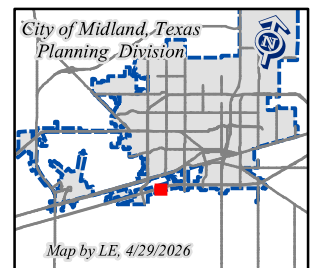
Scale: 1" = 1,000'

Proposed plat of Ranchland Acres, Section 3, being a plat of a 2.82-acre tract of land out of Section 7, Block 39, T-2-S, T&P RR Co. Survey, City and County of Midland, Texas.

Generally located on the south side of West Interstate 20, approximately 210 feet east of South Butterfield Trail. (Council District 2)

LEGEND

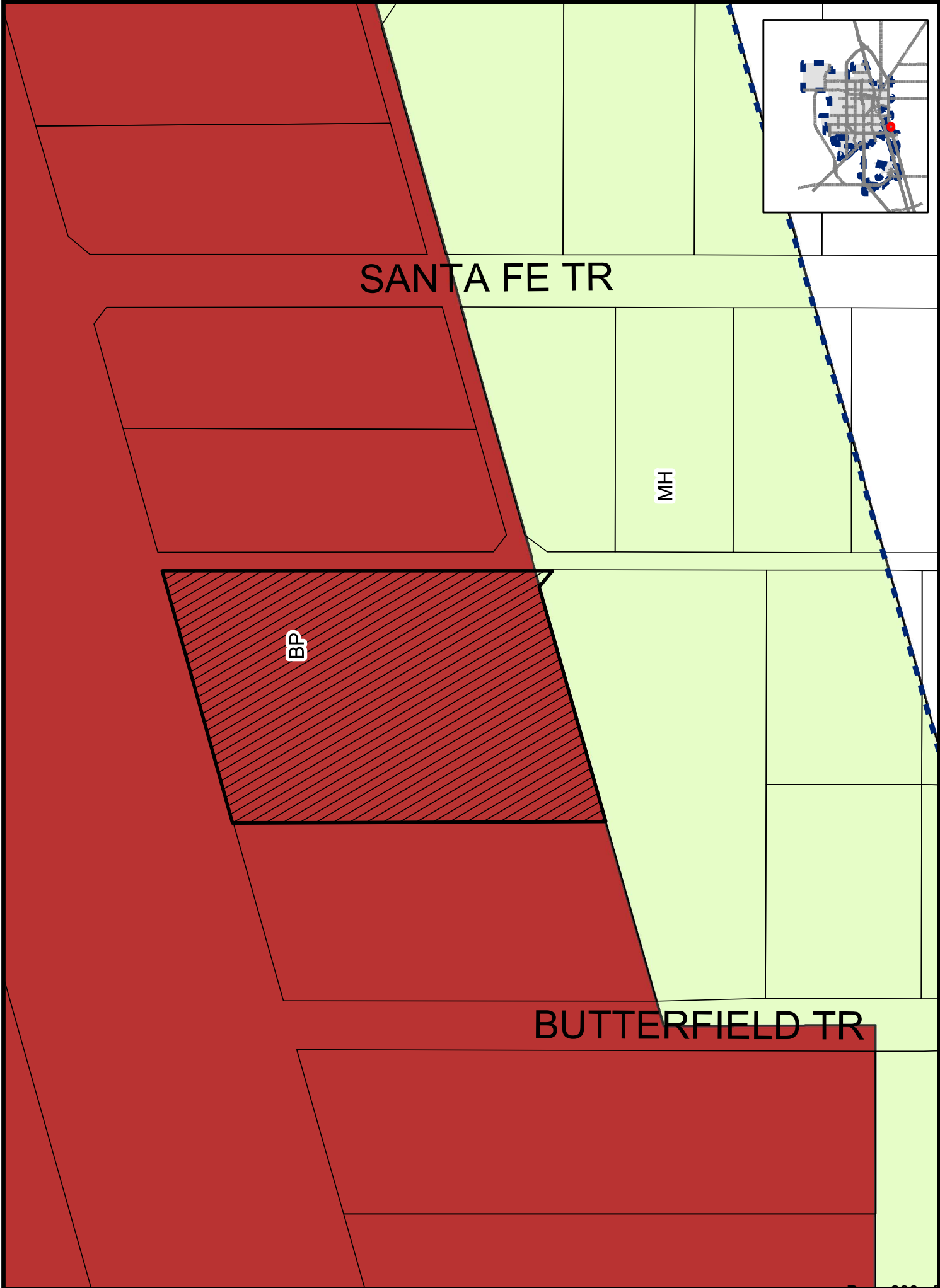
- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL, IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND, 2024. THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY PRODUCT. FOR AS IT RELATES TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



ZONING MAP

Scale: 1" = 1,000'

SUB-26-0967

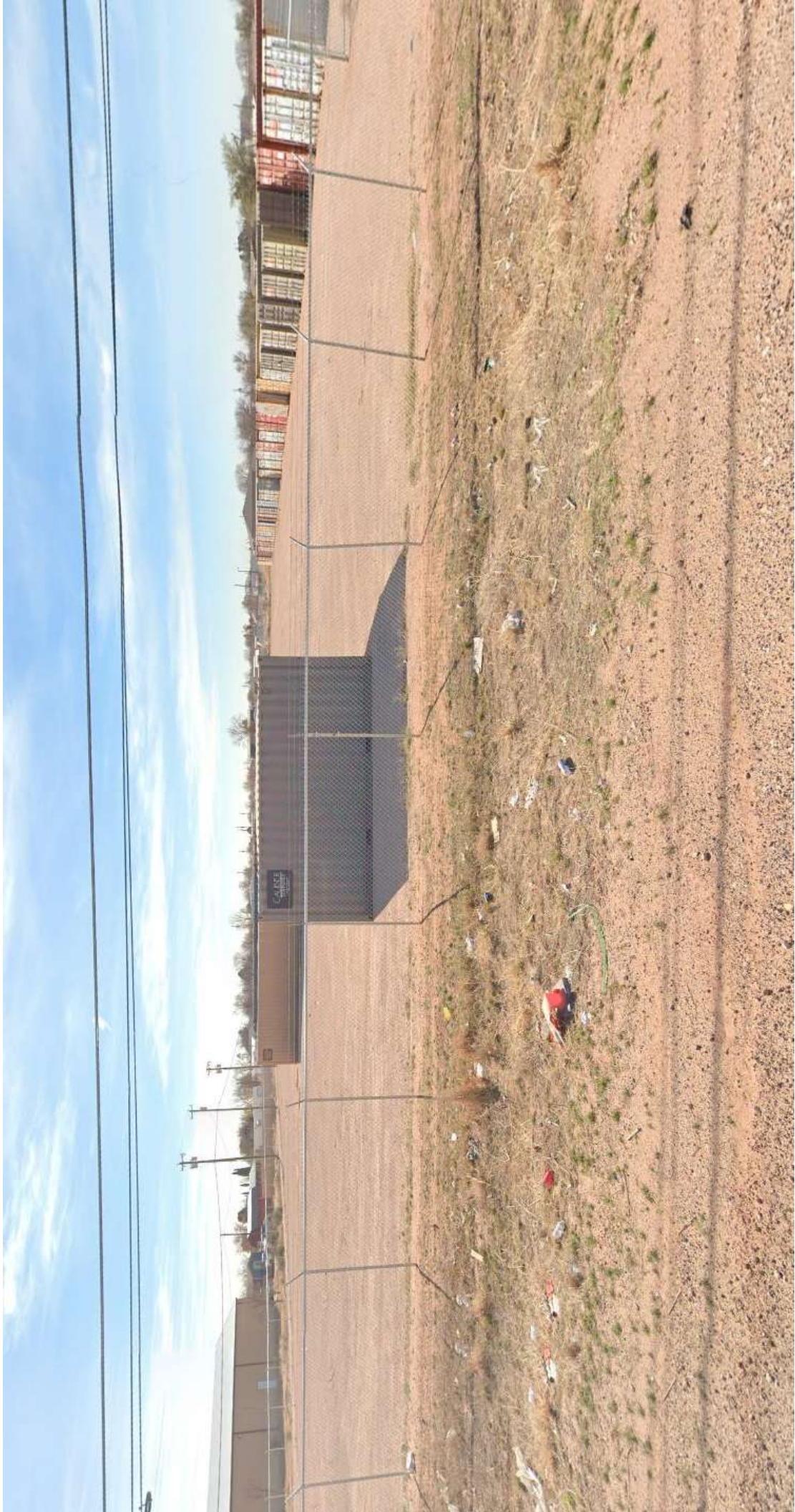
Map by L.E. 4/29/2026

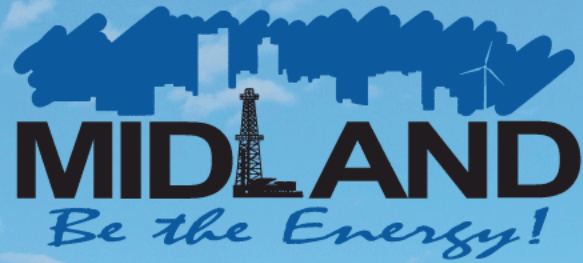


SANTA FE TR

CO

BUTTERFIELD TR





PRELIMINARY PLAT RANCHLAND ACRES, SECTION 3

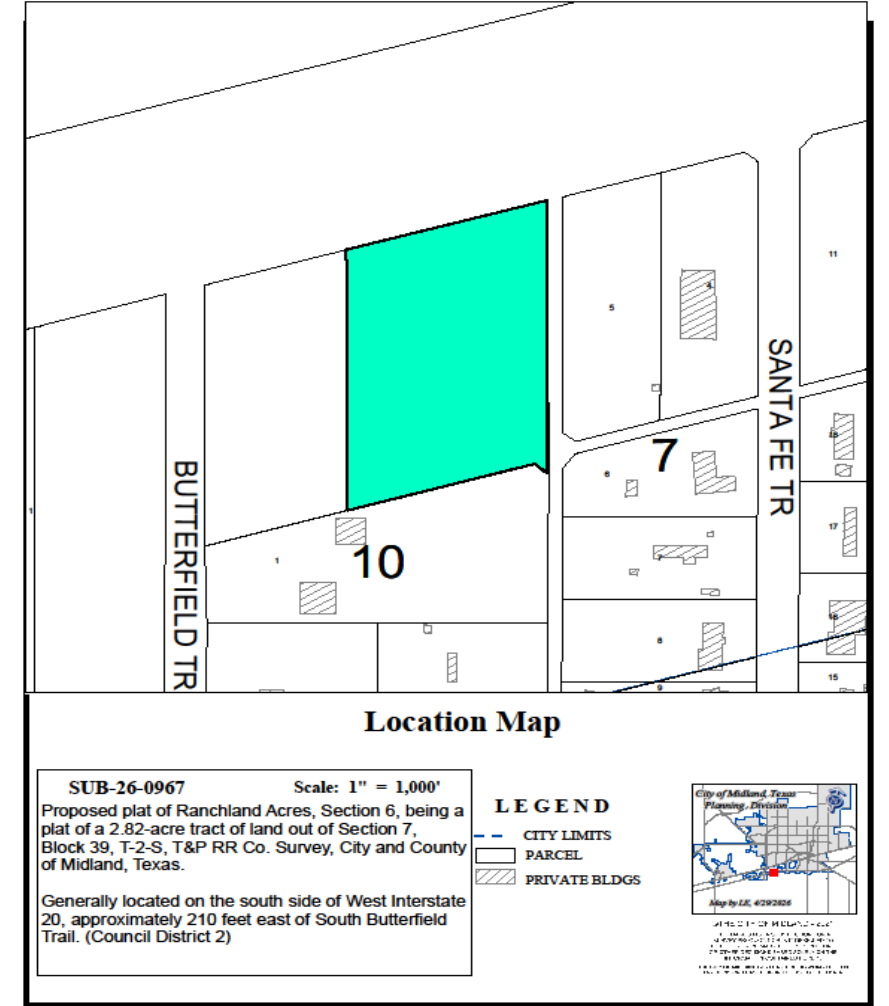


Visit Our Website

MIDLANDTEXAS.GOV

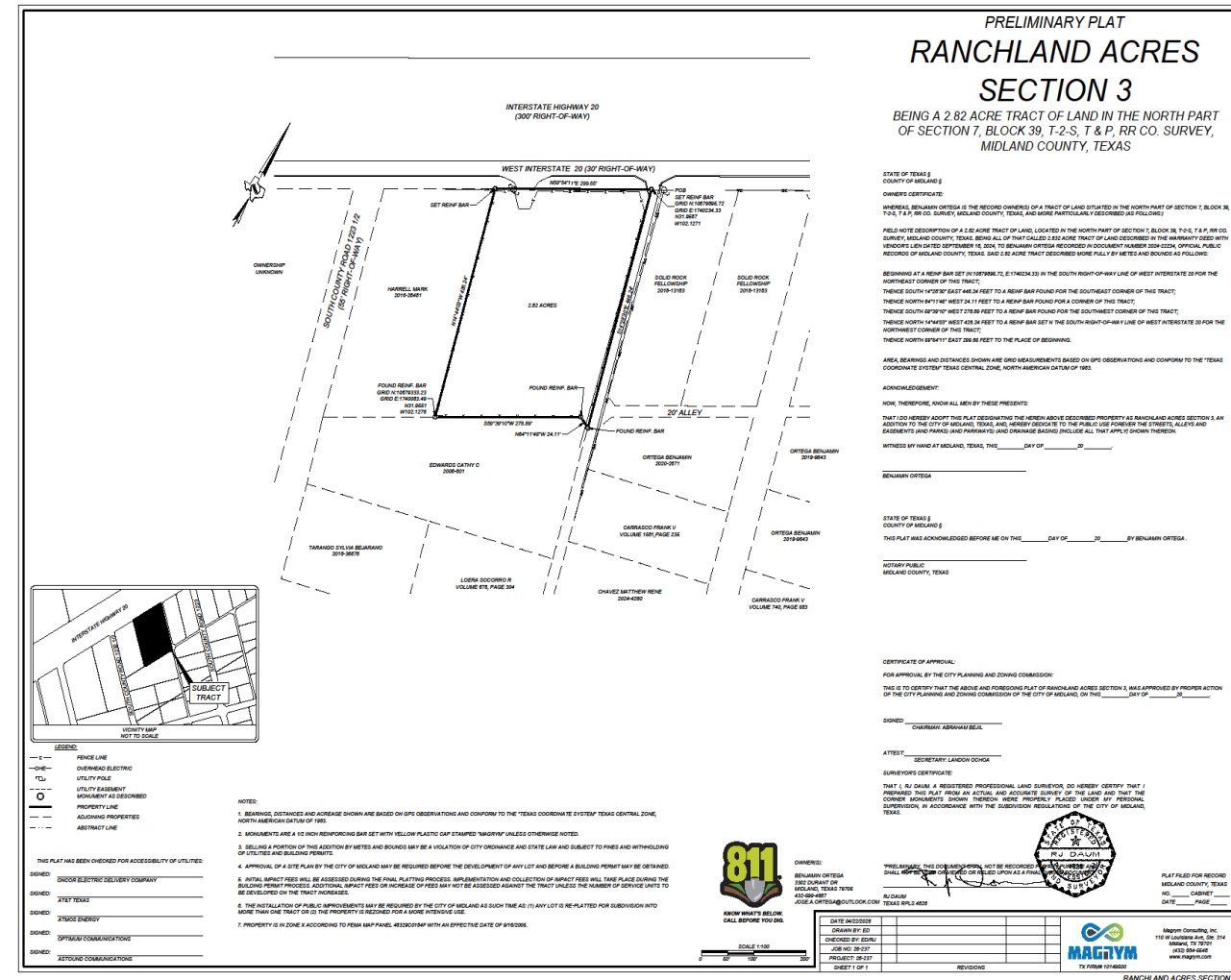
APPLICATION SUMMARY

- **Property Owner:** Benjamin Ortega
- **Representative:** Eduardo Aleman, with Magrym Consulting
- **Location:** Generally located on the south side of West I-20, approximately 210 feet east of South Butterfield Trail (Council District 2)
- **Reason for Request:** Platting to obtain an address for future commercial development.



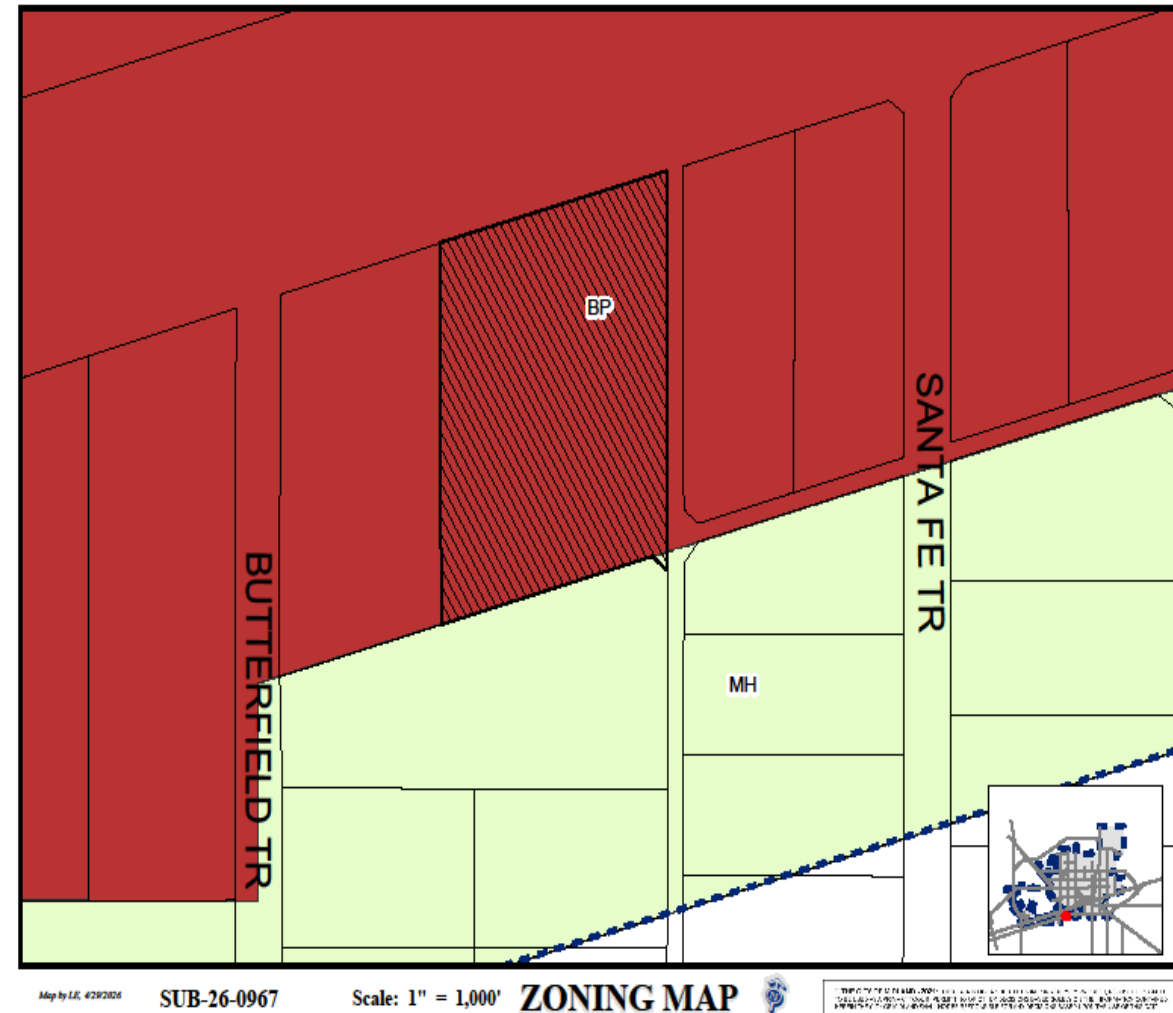
PLAT DETAILS

- Acreage: 2.82 acres
- Number of Existing Lots: 0
- Number Proposed Lots: 1



ZONING

- **Current Zoning:** BP, Business Park I-20 District
- **Surrounding Zoning:**
 - **North:** West Interstate 20
 - **East/West:** BP, Business Park I-20 District
 - **South:** MH, Manufactured Housing District



LAND USE

- **Current Use:** Vacant Land with some container storage
- **Surrounding Uses:**
 - **North:** West I-20
 - **East:** Solid Rock Fellowship church buildings
 - **West:** Commercial storage yard
 - **South:** Single-family residences
- **Proposed Use:** Commercial/Industrial Development



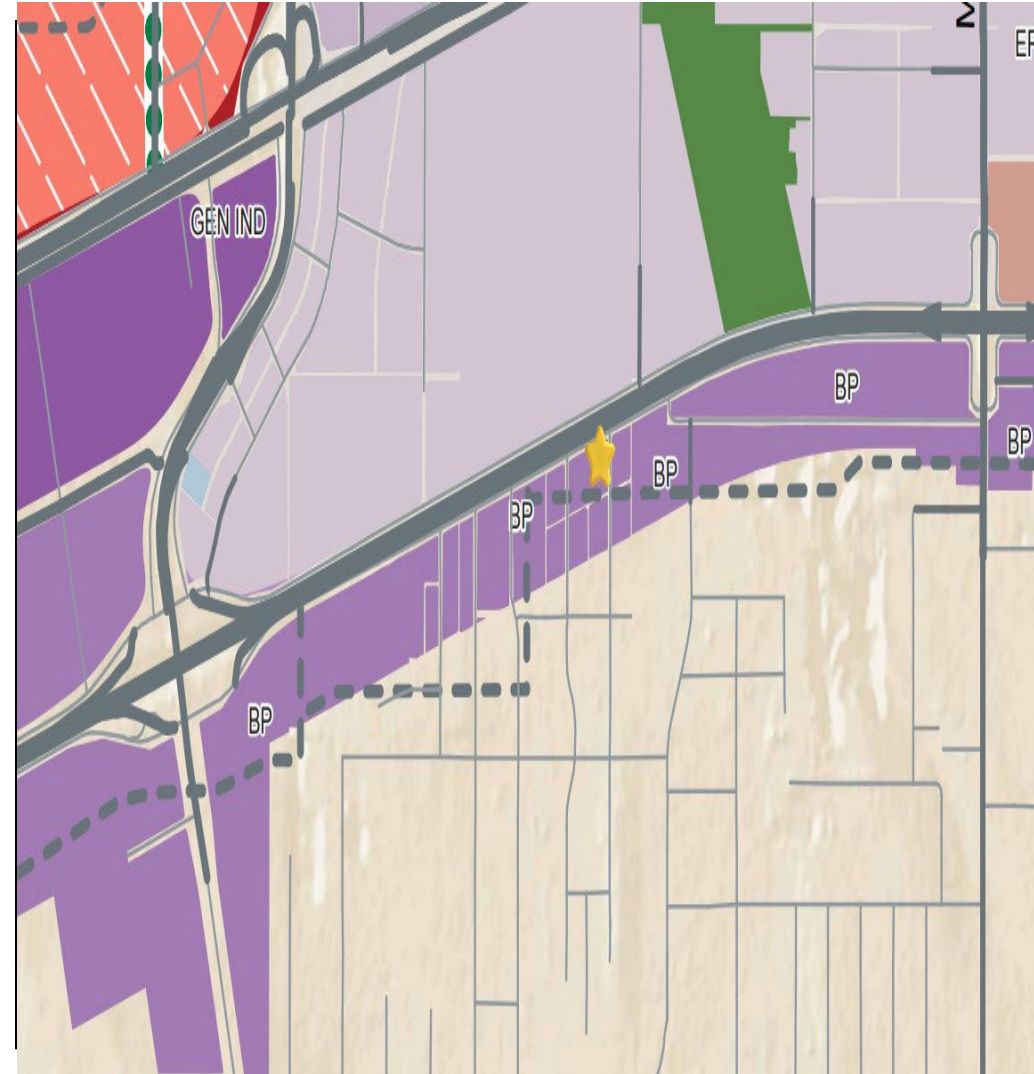


On West Interstate 20, Looking South



COMPREHENSIVE PLAN

- **Land Use Designation:** BP, Business Park I-20 District
- **Supported Uses:** Warehousing and distribution with larger scale visitor services at major intersections



STAFF'S RECOMMENDATION

- Staff recommends approval of this request subject to the following conditions A through C:
 - A. Approval of this preliminary plat is subject to the Final Plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]
 - B. Drainage report must be submitted by Final Plat submittal. [11-2-3(D)8]
 - C. Approval of this preliminary plat is conditioned upon public improvements being completed prior to the approval of a final plat by the City or with an exception when waived or deferred by the Council. [11-2-3(G)1] and [11-2-4(A)2(a)]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 18.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Lori Elliott, Planner
Subject: Motion approving, with staff's recommended conditions, a Preliminary Plat of Bizzell-Kiser Addition, Section 12, being a replat of Lots 1A and 11A, Block 10 and Lots 1A and 2A, Block 7, Bizzell-Kiser Addition, Section 4, City and County of Midland, Texas. (Generally located on the south side of East Peck Avenue, approximately 530 feet west of South Terrell Street.)

Purpose:

Eduardo Aleman, with Magrym Consulting, on behalf of Apostolic Assembly of the Faith in Christ Jesus, is requesting to replat a property located at 2305 South Fort Worth Street in District 2. The applicant is replatting five lots into one lot in order to expand the church property and obtain an address for the currently unplatted lots.

Recommended Action:

Approve with Conditions

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Details of Request:

Eduardo Aleman, with Magrym Consulting, on behalf of Apostolic Assembly of the Faith in Christ Jesus, is requesting to replat a property located at 2305 South Fort Worth Street in District 2. The applicant is replatting five lots into one lot in order to expand the church property and obtain an address for the currently unplatted lots.

Current Zoning:

PD, Planned Development District for a Housing Development

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved with Conditions)

IMPACT FEES: Okay as Shown. ROW: Refer to Transportation's Comment's.

PAVING: Longview roadway okay as is. No public paving improvements required. Peck roadway okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: 6" water exists in Longview Street S of tract, okay as is. No public water improvements required. 6" water exists in Peck Street N of tract, okay as is. No public water improvements required. 6" water exists in Fortworth Street N-S of tract, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 6" sewer exists in Longview Street S of tract, okay as is. No public wastewater improvements required. 6" sewer exists in Fortworth Street N-S of tract, okay as is. No public wastewater improvements required. 6" sewer exists in alley W of tract, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Existing site is developed; If proposing to re-develop site drainage can be reviewed with building permit.

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: Please show a 15-foot utility easement through the property for utility installation, access, and maintenance purposes. [For Applicant's Information Only.]

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.] No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved)

No issues.

Addressing: (Approved with Conditions)

Replat legal needs to be corrected to include the city, Lot & Block information needs to be verified with Domingo. Missing one pair of coordinates.

GIS: (Approved)

Check boundaries, does not match existing plats. Add additional x-y coordinate. Legal description should show that the plat is in the city. Ensure that legal description has all lots within its bounds. Portion of S Fort Worth St, may need to be vacated, confirm with Transportation and Planning. (if so, include in the legal description and provide the recording info on the plat visual) Check POB. Lot number should not be 1AA. Lot may be 1B. Block cannot be 1. May be 10 or 7. Check name/title. (others in this subdivision appear as Bizzell-Kiser, Sec #) (does not appear to be "addition" in name either)

AT&T: (Approved)

No issues

CRMWD: (Approved)

No comments.

HEALTH DEPARTMENT: (Approved)

The lot is close to a public sewer line, no need for a septic system.

PLANNING: (Approved with Conditions)

Revise the plat to identify the vacated portion of Fort Worth Street as a public utility easement. [Informational]

The Public Hearing for this item will be held during the Final Plat phase. [Informational]

Add owner’s phone number to plat face. [Informational]

Change the Planning & Zoning Commission Chairman’s name to “Joshua Sparks”

[Informational]

Staff recommends approval of the Preliminary Plat of Bizzel-Kiser Addition, Section 12, subject to conditions A through B.

Condition:

A. Drainage report must be submitted by Final Plat submittal. [11-2-3(D)8]

B. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

Attachments:

- A. P-26-2554, Bizzell-Kiser Add'n, Section 12, Combined
- B. P&Z - - Bizzell- Kiser Addition, Sec 12 Preliminary

Lori Elliott, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/9/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT BIZZELL KISER ADDITION SECTION 12

BEING A REPLAT OF LOT 1A, 11A BLOCK 10 AND LOT
1A, 2A BLOCK 7 BIZZELL-KISER SECTION 4
MIDLAND COUNTY, TEXAS

STATE OF TEXAS
COUNTY OF MIDLAND
OWNERS CERTIFICATE

WHEREAS, APOSTOLIC ASSEMBLY OF THE FAITH IN CHRIST, JESUS IS THE RECORD OWNER OF LOT 1A, 11A BLOCK 10 AND LOT 1A, 2A BLOCK 7, BIZZELL-KISER SECTION 4, MIDLAND COUNTY, TEXAS AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

FIELD NOTE DESCRIPTION OF A 2.98268 ACRE TRACT OF LAND BEING ALL OF THAT LOT 1A, 11A BLOCK 10 AND LOT 1A, 2A BLOCK 7 BIZZELL-KISER SECTION 4 RECORDED IN CABINET F, PAGE 29, OFFICIAL PUBLIC RECORDS OF MIDLAND COUNTY, TEXAS, SAID 2.98268 ACRES TRACT DESCRIBED MORE FULLY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A REINF BAR SET IN THE SOUTHWEST CORNER OF THIS TRACT IN THE NORTH LINE EAST 75°56'23" W 175.042' 39" TO THE SOUTHWEST CORNER OF LOT 1A, 11A BLOCK 10 AND LOT 1A, 2A BLOCK 7, BIZZELL-KISER SECTION 4, MIDLAND COUNTY, TEXAS; THENCE NORTH 42°28'11" WEST 247.95' 85" FEET TO A REINF BAR SET IN THE SOUTH LINE OF EAST PECK AVENUE FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE NORTH 75°56'23" EAST 380.57' FEET TO A REINF BAR SET IN THE SOUTH LINE OF EAST PECK AVENUE FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 42°28'11" WEST 19' FEET TO A REINF BAR SET IN THE NORTH LINE OF LONGVIEW AVENUE FOR THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 75°56'23" EAST 256.04' FEET TO THE PLACE OF BEGINNING.

AREA, BEARINGS AND DISTANCES SHOWN ARE GPS MEASUREMENTS BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.

ACKNOWLEDGEMENT:
NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:
THAT I DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREBY DESCRIBED PROPERTY AS BIZZELL KISER ADDITION SECTION 12, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS (AND PARCELS AND PARCELS) (AND BOUNDARY GAS) (INCLUDING ALL THAT APPLICABLE) SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS, THIS _____ DAY OF _____ 20____ BY APOSTOLIC ASSEMBLY OF THE FAITH IN CHRIST, JESUS.

APOSTOLIC ASSEMBLY OF THE FAITH IN CHRIST, JESUS
STATE OF TEXAS
COUNTY OF MIDLAND

THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 20____ BY APOSTOLIC ASSEMBLY OF THE FAITH IN CHRIST, JESUS.

NOTARY PUBLIC
MIDLAND COUNTY, TEXAS

CERTIFICATE OF APPROVAL:
FOR APPROVAL BY THE CITY PLANNING AND ZONING COMMISSION:
THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF BIZZELL KISER ADDITION SECTION 12, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, ON THIS _____ DAY OF _____ 20____.

SIGNED: _____
CHAIRMAN ABRAHAM BEAL

ATTEST: _____
SECRETARY JAMON COOK

SURVEYOR'S CERTIFICATE:
THAT I, RJ DAUM, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEYING REGULATIONS OF THE CITY OF MIDLAND, TEXAS.

PRELIMINARY: THIS INSTRUMENT SHALL NOT BE RECORDED UNTIL THE CITY OF MIDLAND HAS ADOPTED THIS INSTRUMENT AND THE CITY OF MIDLAND HAS ADOPTED THIS INSTRUMENT.

RJ DAUM
TEXAS REG. # 4526

PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS
DATE _____ PAGE _____

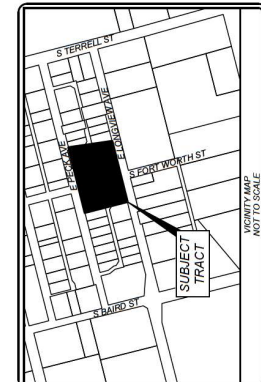
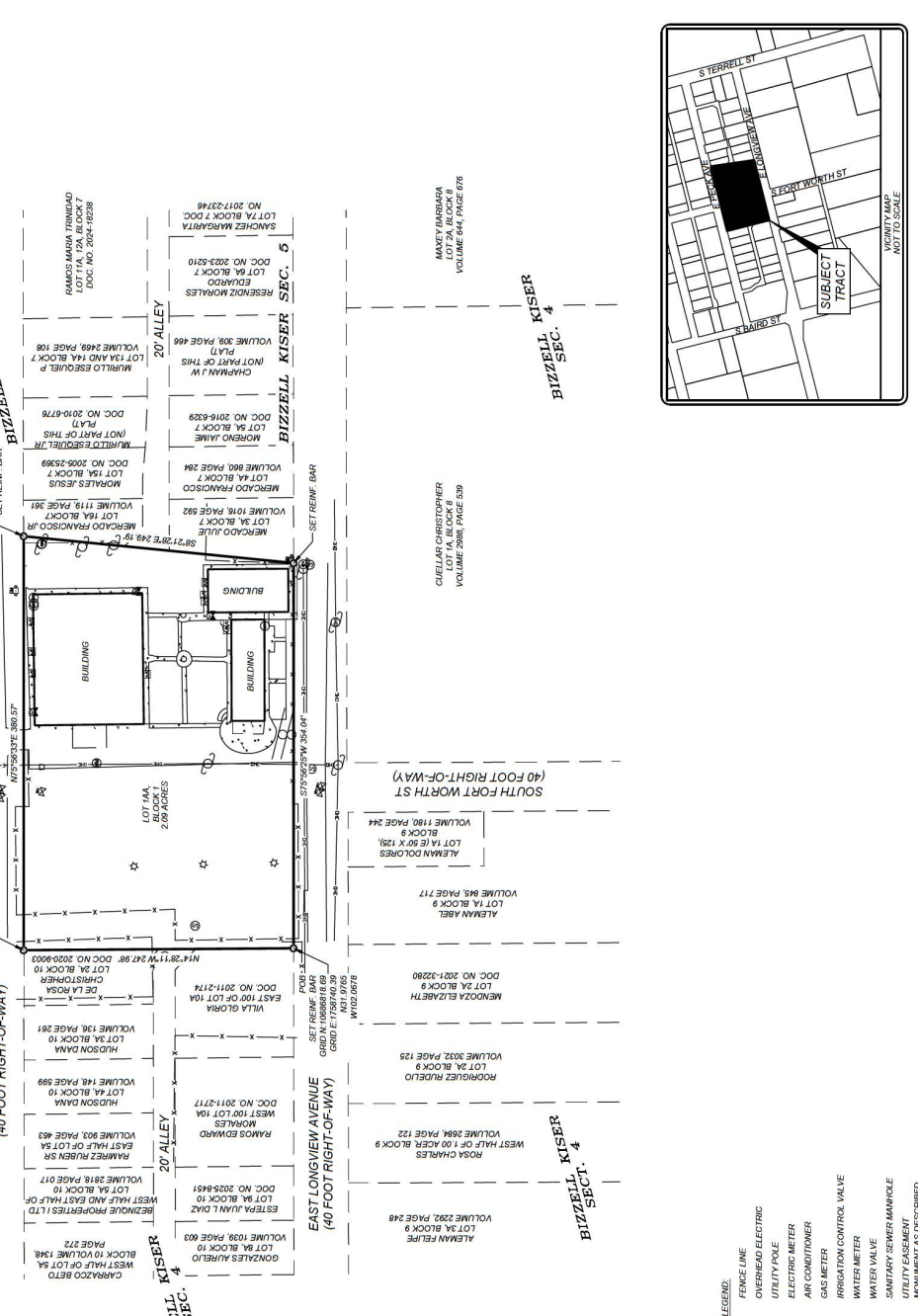
DATE 02/20/2026
DRAWN BY EDU
CHECKED BY EDU
JOB NO. 26-232
PROJECT: 26-232

OWNER(S):
811
NOW WHAT'S NEW? CALL BEFORE YOU GO!

SCALE 1" = 80'
0 50' 100' 200'

REVISIONS

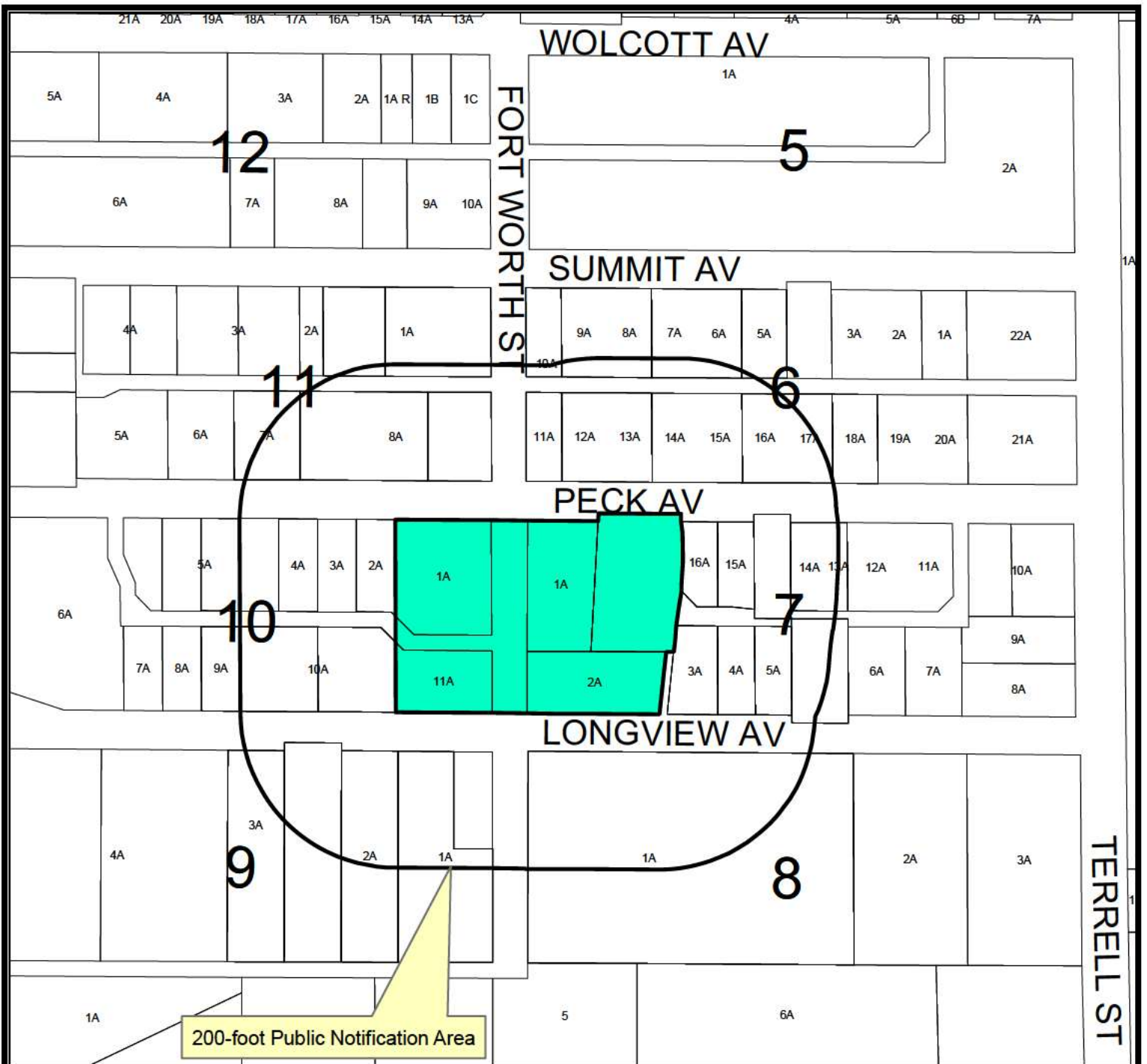
MAGNUM
TX FORM 10-16500



- NOTES:
- BEARINGS, DISTANCES AND ACRES ARE BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.
 - MONUMENTS ARE A 1/2 INCH REINFORCING BAR SET WITH YELLOW PLASTIC CAP STAMPED "MAGNUM" UNLESS OTHERWISE NOTED.
 - SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHDRAWING OF UTILITIES AND BUILDING PERMITS.
 - APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
 - INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASE OF FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
 - THE INSTALLATION OF PUBLIC IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS: (1) ANY LOT IS RE-PLATTED FOR SUBDIVISION INTO MORE THAN ONE TRACT OR (2) THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
 - PROPERTY IS IN ZONE X ACCORDING TO FEMA PANEL: 4632902020P WITH AN EFFECTIVE DATE OF 9/16/2005.

- LEGEND:
- FENCE LINE
 - OVERHEAD ELECTRIC
 - UTILITY POLE
 - ELECTRIC METER
 - AIR CONDITIONER
 - GAS METER
 - IRRIGATION CONTROL VALVE
 - WATER METER
 - WATER VALVE
 - SANITARY SEWER MANHOLE
 - UTILITY EASEMENT
 - MONUMENT AS DESCRIBED
 - PROPERTY LINE
 - ADJOINING PROPERTIES
 - ABSTRACT LINE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES:
ONGR ELECTRIC DELIVERY COMPANY
AT&T TEXAS
AT&S ENERGY
OPTIMUM COMMUNICATIONS
ASTOUND COMMUNICATIONS



200-foot Public Notification Area

Location Map

SUB-26-0973

Scale: 1" = 1,200'

Proposed plat of Bizzell-Kiser Addition, Section 12, being a replat of Lots 1A and 11A, Block 10 and Lots 1A and 2A, Block 7, Bizzell-Kiser Addition, Section 4, City and County of Midland, Texas.

Generally located on the south side of East Peck Avenue, approximately 530 feet west of South Terrell Street. (Council District 2)

LEGEND

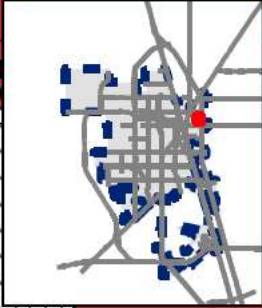
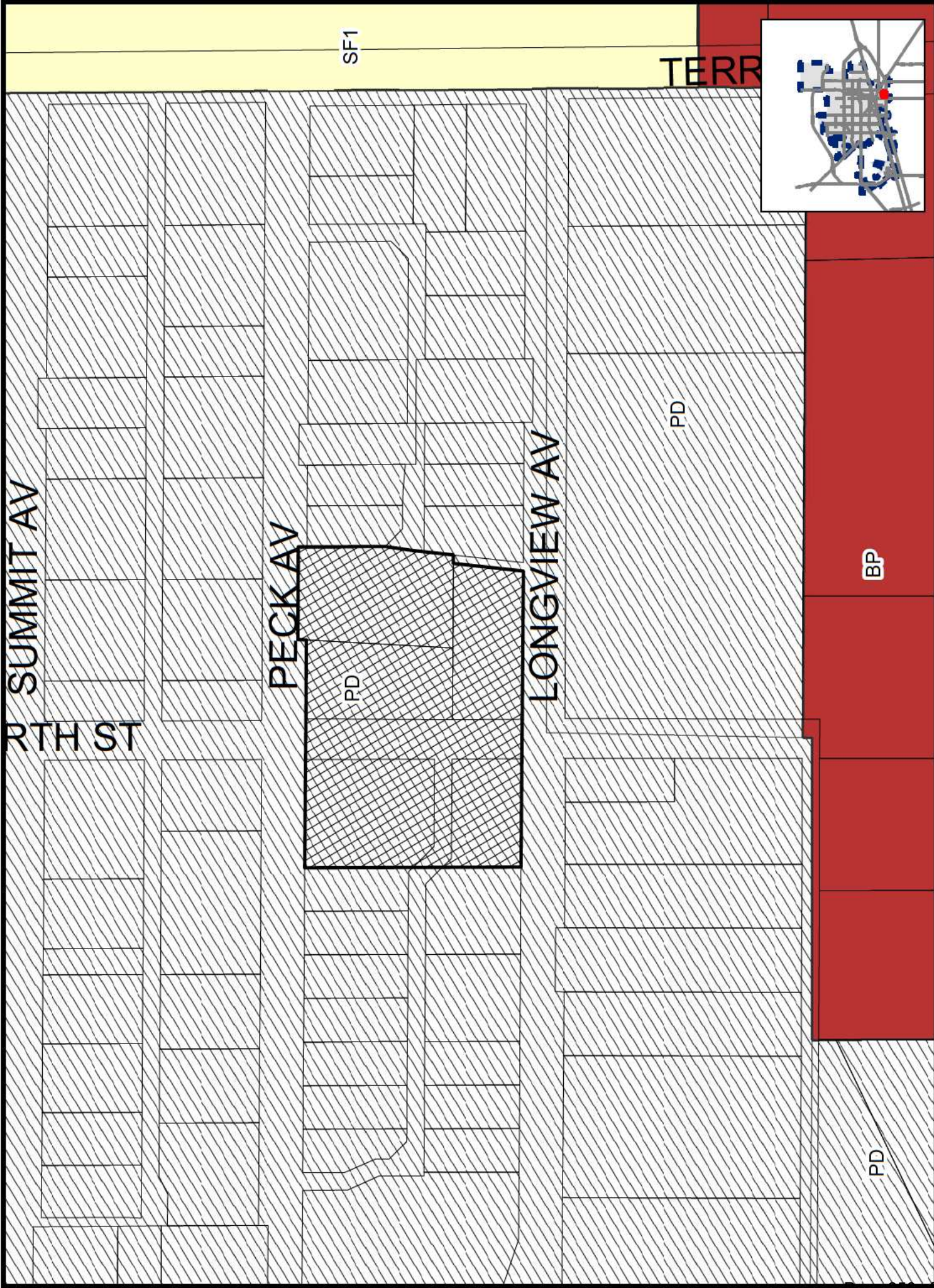
-  CITY LIMITS
-  PARCEL
-  PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



© THE CITY OF MIDLAND, 2014. THIS DATA IS NOT A SUBSTITUTE FOR A SURVEY PROFESSIONAL'S REPORT. IT IS PROVIDED TO BE USED AS A PRIMARY TOOL IN PERMITTING OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN. THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



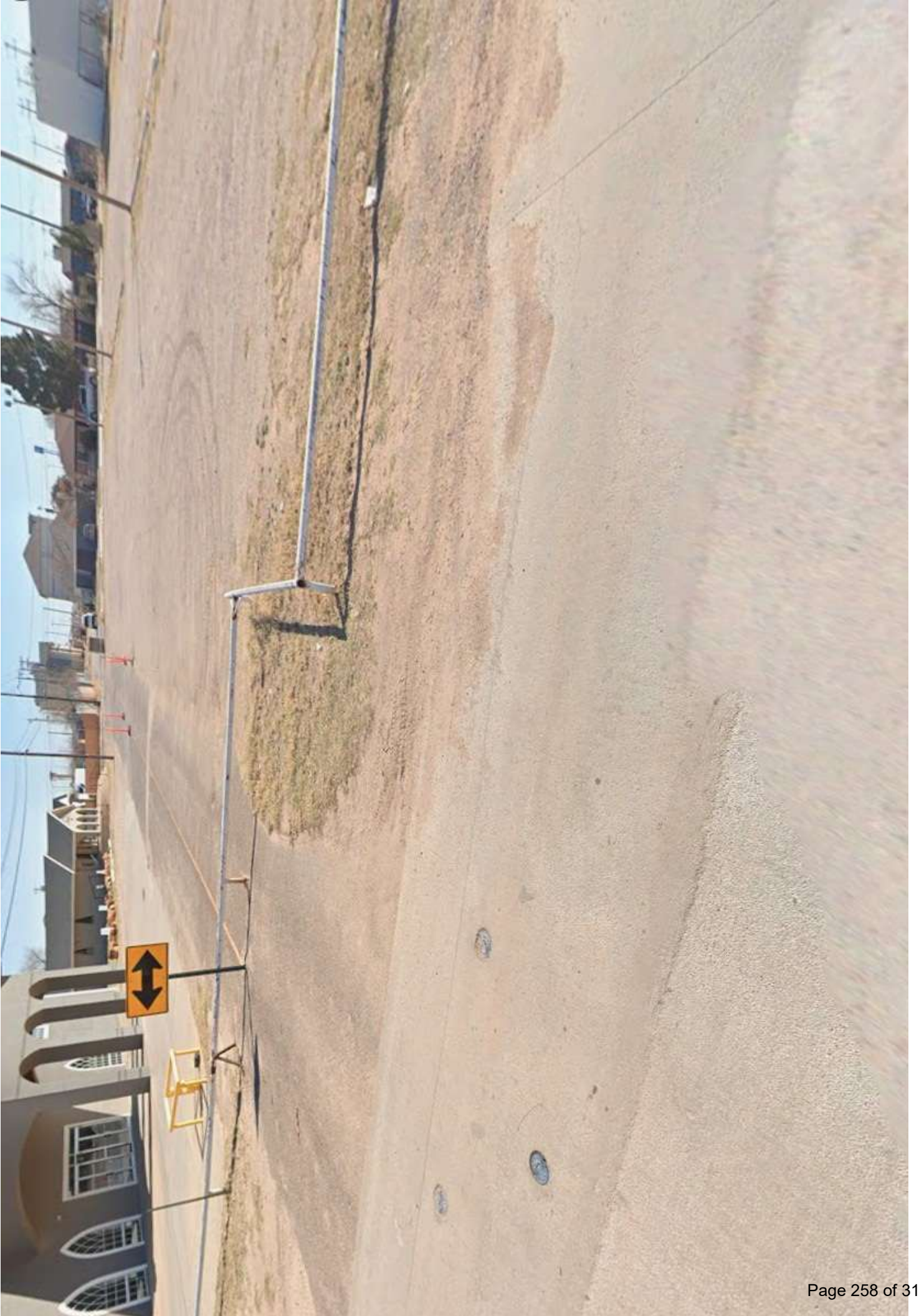
ZONING MAP

Scale: 1" = 1,000'

SUB-26-0973

Map by LE, 5/8/2016







PRELIMINARY PLAT BIZZELL-KISER ADDITION, SECTION 12

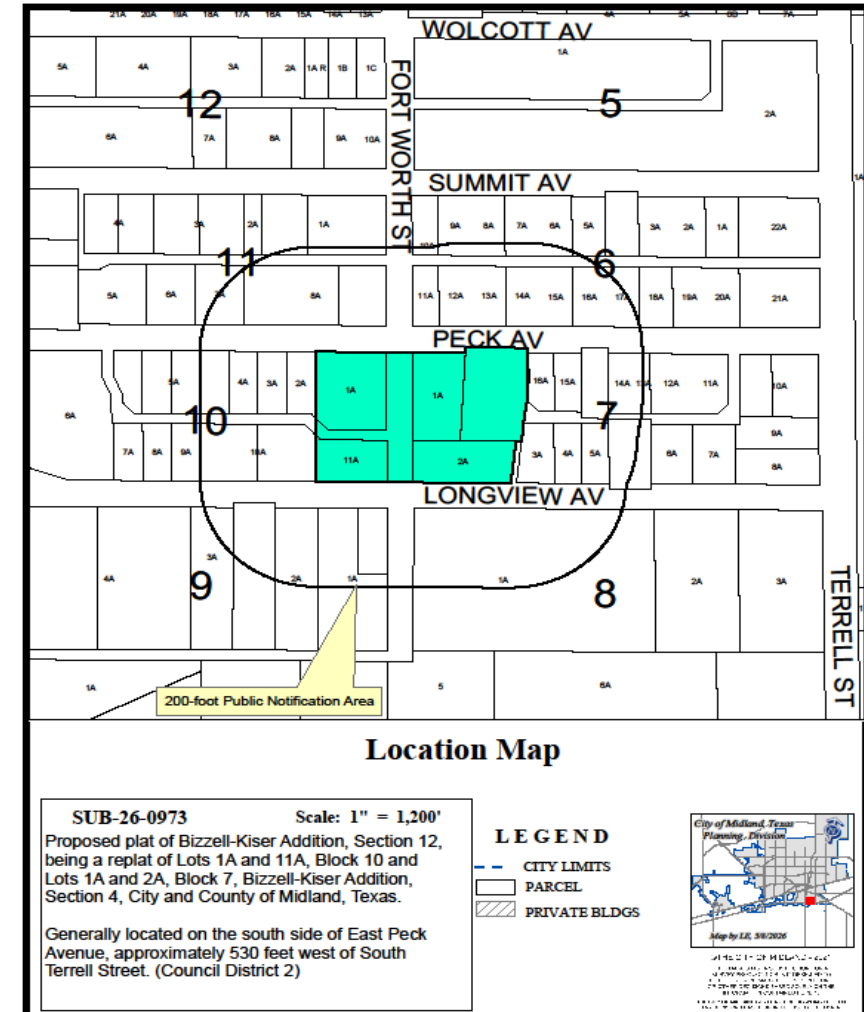


Visit Our Website

MIDLANDTEXAS.GOV

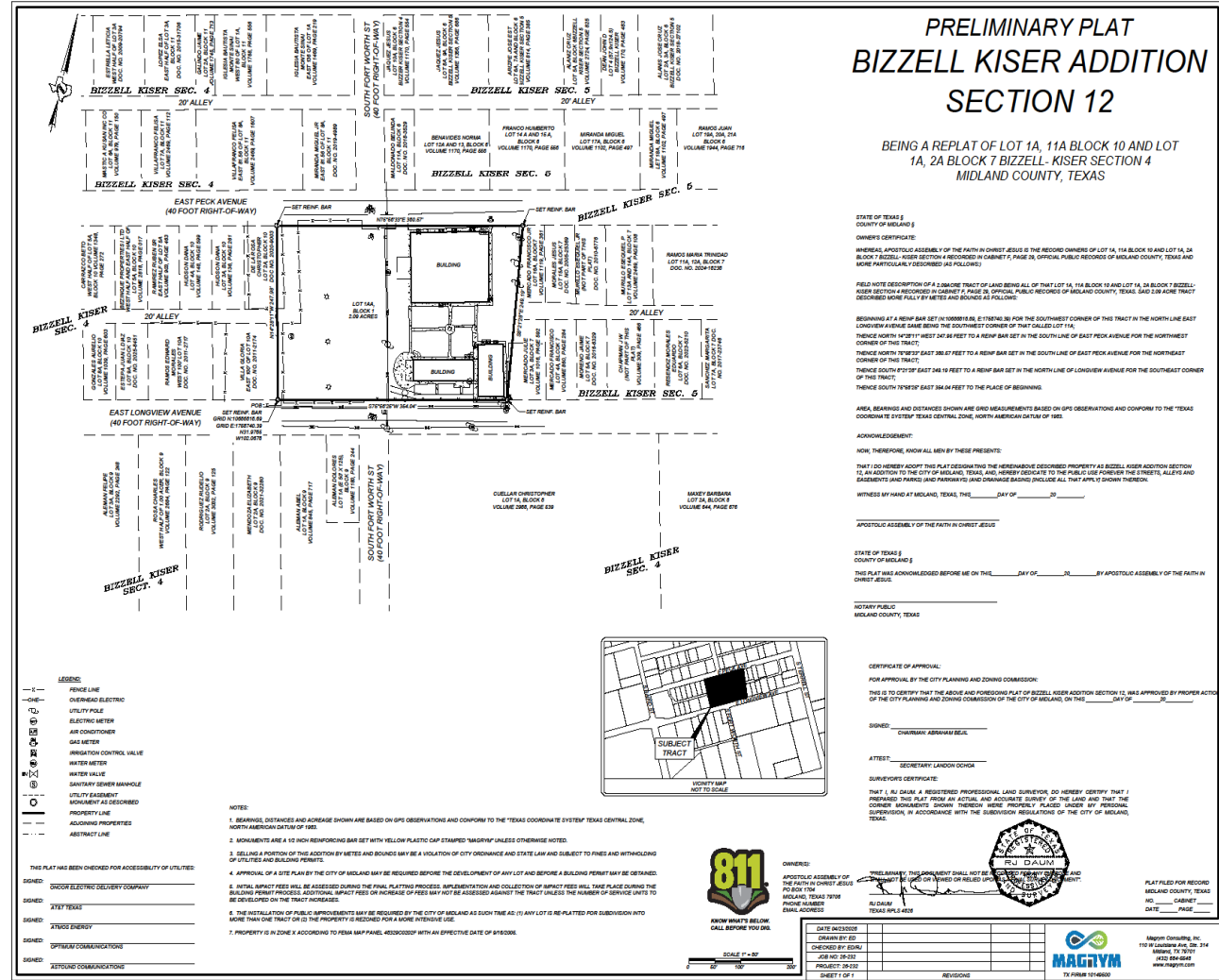
APPLICATION SUMMARY

- **Property Owner:** Apostolic Assembly of the Faith in Christ Jesus
- **Representative:** Eduardo Aleman, with Magrym Consulting
- **Location:** 2305 South Fort Worth Street in District 2
- **Reason for Request:** in order to expand the Church property and obtain an address for the currently unplatted lots



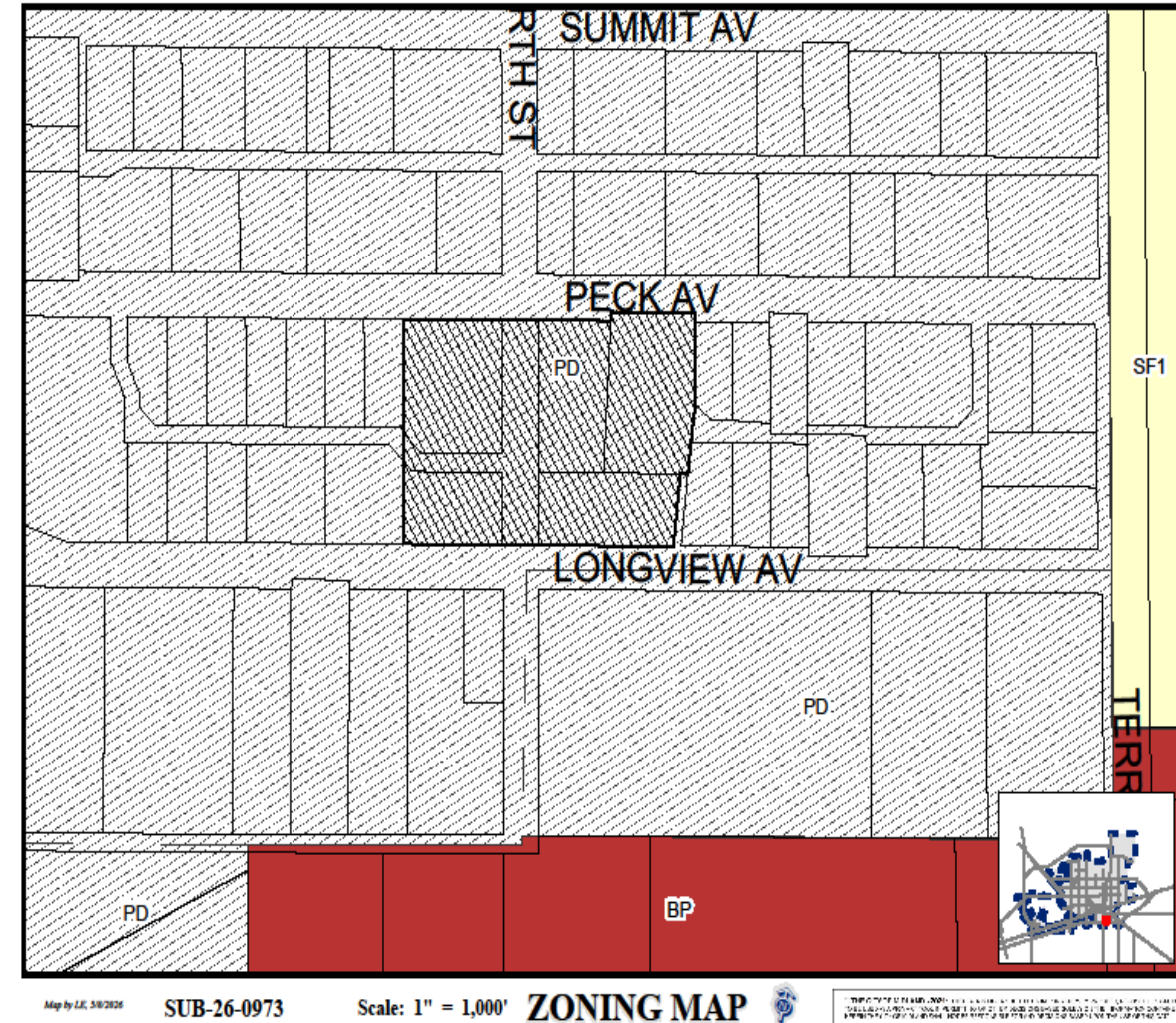
PLAT DETAILS

- Acreage: 2.09 acres
- Number of Existing Lots: 5
- Number Proposed Lots: 1



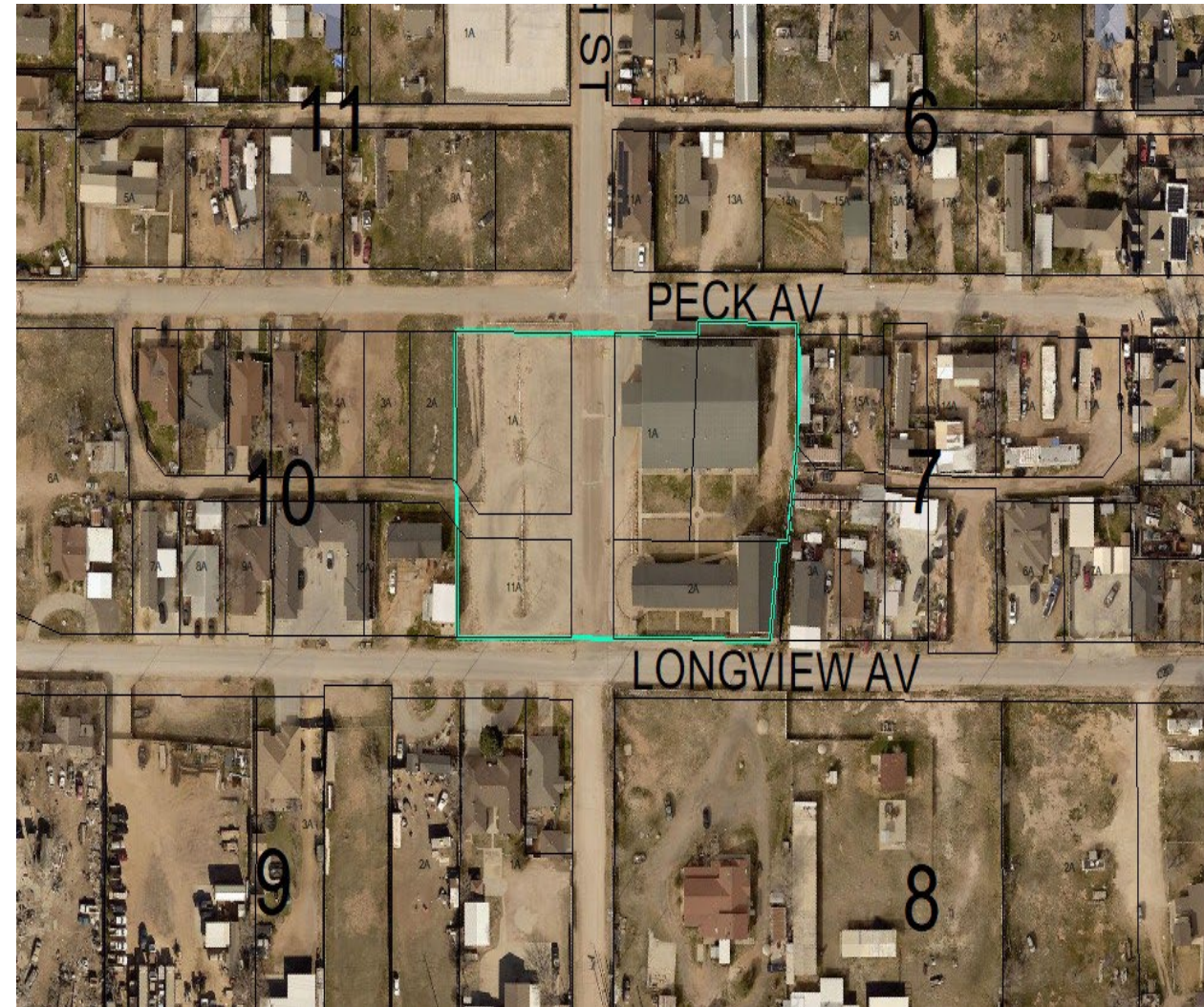
ZONING

- **Current Zoning:** PD, Planned Development for a Housing Development
- **Surrounding Zoning:**
 - **North/South/East/West:** PD, Planned Development for a Housing Development



LAND USE

- **Current Use:** Church property
- **Surrounding Uses:**
 - **North:** Single-family homes and vacant lots
 - **South/East/West:** Single-family homes
- **Proposed Use:** Expanded Church property

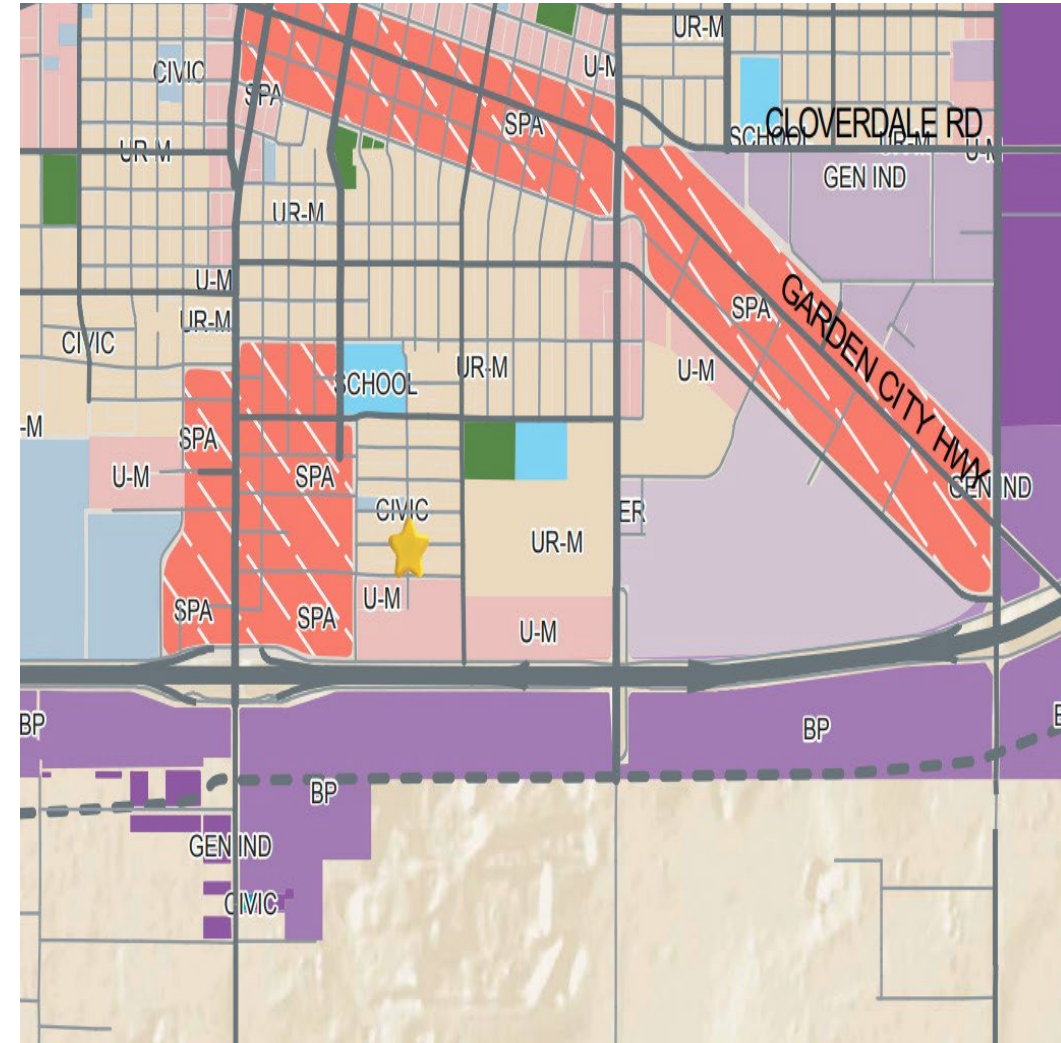




On South Fort Worth Street, Looking South

COMPREHENSIVE PLAN

- **Land Use Designation:** U-M, Urban-Medium
- **Supported Uses:** A mix of complementary uses, including single-family housings, multi-family housing, schools, and churches.



STAFF'S RECOMMENDATION

- Staff recommends approval of this request with the following conditions:
 - A. Drainage report must be submitted by Final Plat submittal. [11-2-3(D)8]
 - B. Approval of this preliminary plat is subject to the Final Plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 19.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Angelina Bettanini, Planner II
Subject: Motion approving, with staff's recommended conditions, a Preliminary Plat of Westridge Park Addition, Section 61, being a replat of a 4.497-acre tract of land out of Lot 10, Block 7, Westridge Park Addition, Section 39, City and County of Midland, Texas. (Generally located on the north side of Deauville Boulevard, approximately 285 feet west of Griffith Drive.)

Purpose:

Maverick Engineering, on behalf of Laramie Investments, is requesting to replat a 4.497-acre tract of land located at 6023 Andrews Highway into one lot for future commercial development.

Current Zoning:

RR, Regional Retail

This request has been routed to all respective departments for internal review. The comments are below.

Recommended Action:

Approve

Fiscal Impact:

None

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved with Conditions)

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

OIL AND GAS: (Approved with Conditions)

No Oil & Gas issues

GIS: (Approved with Conditions)

The lot needs to be 10C

ADDRESSING: (Approved)

No issues.

OPTIMUM: (Approved)

We have underground fiber, that stops right before Griffith Dr. The UG fiber continues south crossing, Deauville Blvd. runs into the Western Midstream Bldg. We also have UG facilities, going north on the eastside ROW of Avalon Drive. We are not in conflict between Avalon Dr & Griffith Dr.

AT&T: (Approved)

We do have two buried fibers and one buried copper cable on the north side of Deauville in utility easement in this area in question

CRMWD: (Approved)

We do not have any comments on this plat.

HEALTH DEPARTMENT: (Approved)

The lot is close to a public sewer line, no need for a septic system.

PLANNING: (Approved)

Staff recommends approval of the Preliminary Plat of Westridge Park Addition, Section 60, subject to the following conditions:

Conditions:

- A. **Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City**

departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

Attachments:

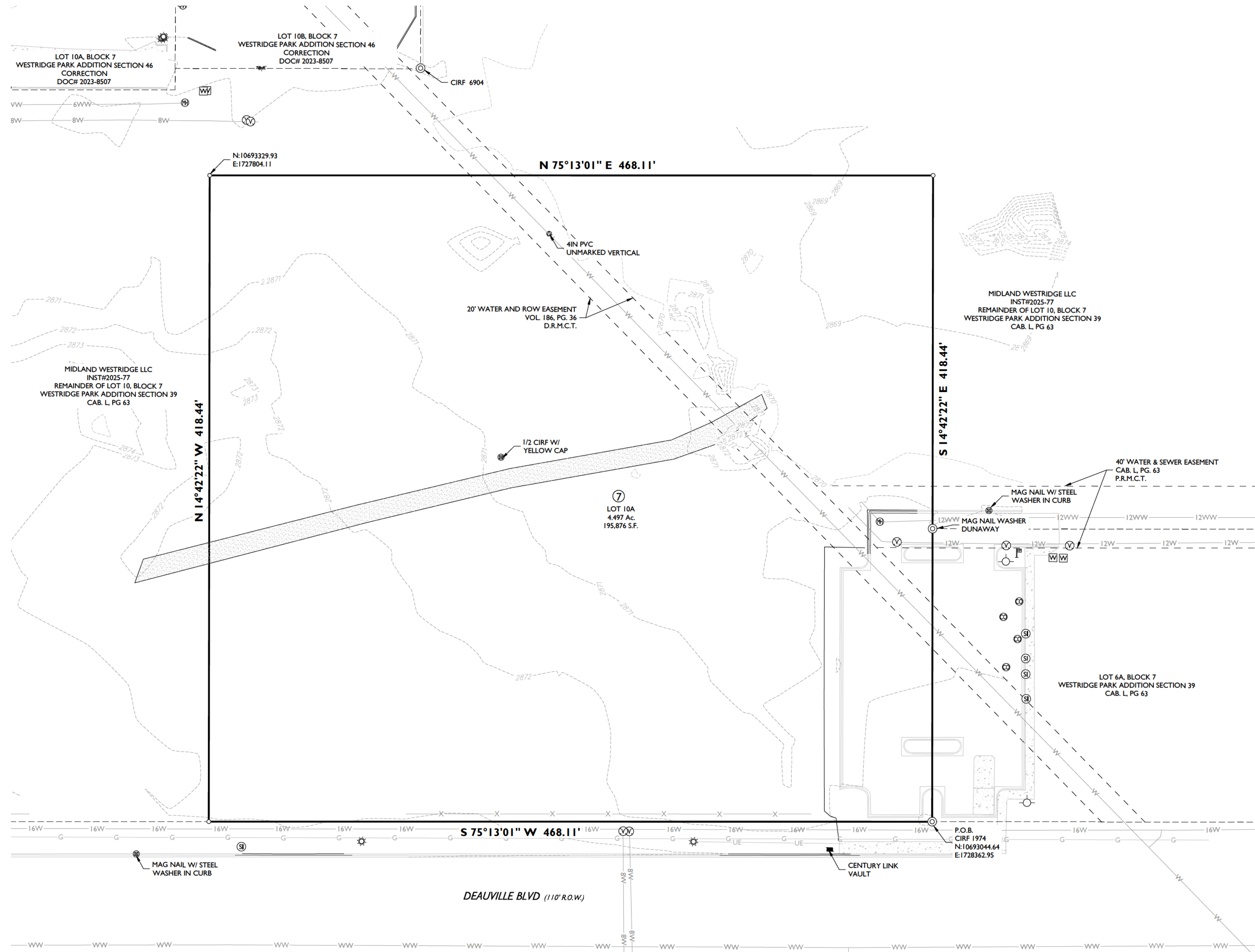
- A. P-26-2562 Combined Docs
- B. P&Z - Westridge Park Preliminary Plat

Angelina Bettanini, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/10/2026
Final Approval - 6/12/2026

WESTRIDGE PARK ADDITION, SECTION 61

BEING A 4.497 ACRE REPLAT OF LOT 10 BLOCK 7, WESTRIDGE PARK ADDITION, SECTION 39, CITY AND COUNTY OF MIDLAND, TEXAS



SURVEY NOTES:

- BASIS OF BEARING, COORDINATES, DISTANCE AND ACREAGE ARE A LAMBERT CONICAL PROJECTION OF THE TEXAS COORDINATE SYSTEM, STATE PLANE GRID, CENTRAL ZONE, NAD 83, U.S. SURVEY FOOT WITH A CONVERGENCE ANGLE (theta) OF -0°54'48.40" AND A COMBINED SCALE FACTOR OF 0.999896911 AT NGS "MIDLAND".
- 1/2" IRON ROD WITH RED PLASTIC CAP MARKED "MAVERICK FIRM # 10194514" AT ALL SET CORNERS, UNLESS OTHERWISE SPECIFIED.
- SEE DOCUMENTS OR ELECTRONIC DATA FILED IN THE OFFICE OF MAVERICK ENGINEERING FOR COMPLETE RECONSTRUCTION OF THIS SURVEY.
- LOCATION OF BURIED UTILITIES AND PIPELINES, IF ANY, IS APPROXIMATE BASED UPON OBSERVED EXISTING SIGNAGE, CITY OF MIDLAND GIS AND VISUAL EVIDENCE, OR BY ONE-CALL 811. SITE MARKINGS AT THE TIME OF THIS SURVEY. DUE CARE IS RECOMMENDED: CALL 1-800-DIG-TESS FOR LOCATES PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- THIS IS A PROVISIONAL PRELIMINARY PLAT. THIS IS NOT TO BE RECORDED OR USED FOR CONSTRUCTION PURPOSES. SET MONUMENTS SHOWN HEREON ARE ALSO PRELIMINARY AND SHALL ONLY BE PLACED IN ACCORDANCE WITH A FINAL SURVEY SEALED BY THE SURVEYOR OF RECORD.

DEVELOPMENT NOTES:

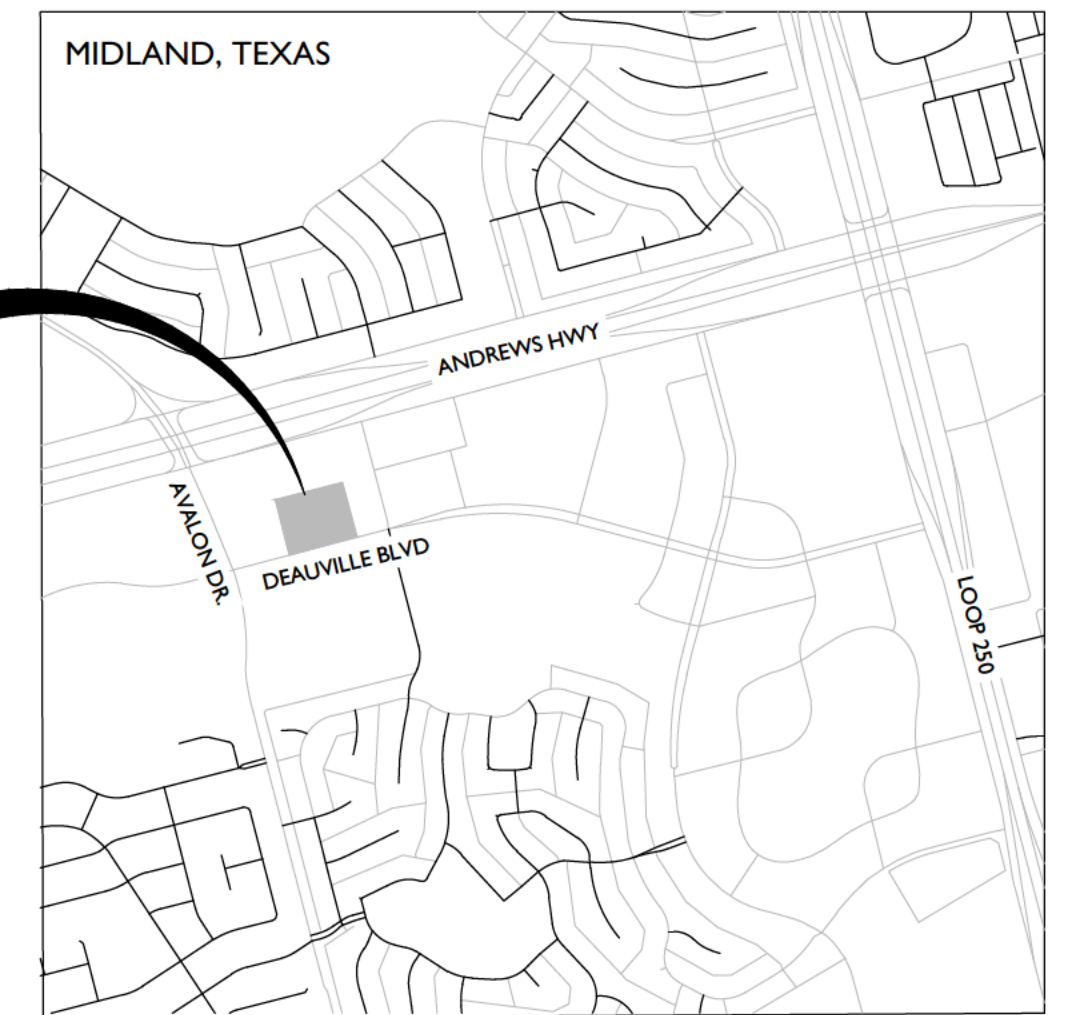
- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- THE INSTALLATION OF IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS:
 - THE REPRESENTED LOT(S) IS(ARE) REPLATTED FOR SUBDIVISION INTO MORE THAN ONE LOT OR;
 - THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
- IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS, IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASED.

FEMA NOTE:

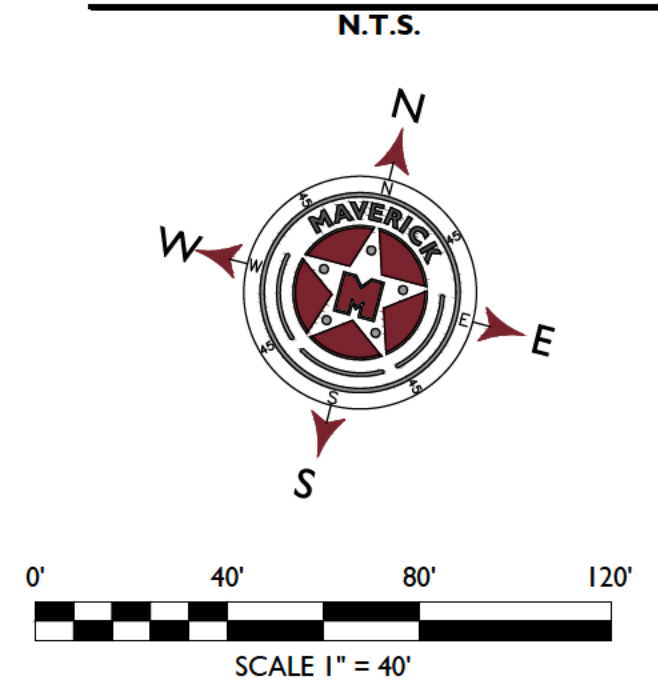
FLOOD STATEMENT: ACCORDING TO FEMA'S N.F.I.P. FLOOD INSURANCE RATE MAP #48329C0200F, DATED SEPTEMBER 16, 2005, THIS PROPERTY IS WITHIN THE UNSHADED PORTION OF ZONE "X", DESIGNATED AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN".

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF MAVERICK CIVIL & SURVEY, L.L.C.

SITE LOCATION



VICINITY MAP



LEGEND

⊙	CONTROL POINT
⊕	FOUND MONUMENT AS NOTED
○	PROPOSED LOT CORNER
⊕	EXISTING CLEAN OUT
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING IRRIGATION VALVE
⊕	EXISTING LIGHT POLE
⊕	EXISTING MANHOLE
⊕	EXISTING STUB OUT
⊕	EXISTING WATER METER
⊕	EXISTING WATER VALVE
⊕	EXISTING FLAG POLE
—	BOUNDARY LINE
- - -	EXISTING PROPERTY LINES
- - -	EXISTING EASEMENT LINE
X	EXISTING FENCE
G	EXISTING GAS LINE
WW	EXISTING WASTEWATER
6WW	EXISTING 6" WASTEWATER
12WW	EXISTING 12" WASTEWATER
CB	EXISTING UNDERGROUND CABLE LINE
UE	EXISTING UNDERGROUND ELECTRIC LINE
W	EXISTING WATER MAIN
8W	EXISTING 8" WATER MAIN
12W	EXISTING 12" WATER MAIN
16W	EXISTING 16" WATER MAIN
⊕	GRAVEL / DIRT ROAD
P.R.M.C.T.	PLAT RECORDS, MIDLAND CO., TX
D.R.M.C.T.	DEED RECORDS, M.LAND CO., TX

OWNER'S CERTIFICATE

THE STATE OF TEXAS
COUNTY OF MIDLAND

WHEREAS MIDLAND WESTRIDGE LLC, IS THE RECORD OWNER OF A TRACT OF LAND SITUATED IN SECTION 37, BLOCK 40, T-1-S, T&P. RR. CO. SURVEY, CITY AND COUNTY OF MIDLAND, TEXAS.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT MIDLAND WESTRIDGE LLC, DOES HEREBY ADOPT THIS PLAT DESIGNATING THE HEREINABOVE DESCRIBED PROPERTY AS WESTRIDGE PARK ADDITION, SECTION 61, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND, HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS THIS THE _____ DAY OF _____, 2026.

BY: _____ FOR MIDLAND WESTRIDGE LLC

ACKNOWLEDGEMENT

THE STATE OF TEXAS
COUNTY OF MIDLAND

THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2026

BY: _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

CERTIFICATE OF APPROVAL

FOR APPROVAL BY COMMISSION:

THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF WESTRIDGE PARK ADDITION, SECTION 61, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, TEXAS ON THIS _____ DAY OF _____, 2026.

JOSHUA SPARKS, CHAIRMAN

LANDON OCHOA, SECRETARY

SURVEYOR'S CERTIFICATE

KNOW ALL MEN BY THESE PRESENTS:

THAT I, GREGORY W. SHOULS, BEING A PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACCURATE AND COMPLETE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON ARE PROPERLY LOCATED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE COMMISSION REGULATIONS OF THE STATE OF TEXAS.

GREGORY W. SHOULS, SURVEYOR
MAVERICK ENGINEERING (TX FIRM #10194514)
1909 W. WALL STREET, SUITE, K
MIDLAND, TX 79701

UTILITY COMPANY'S CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.

ATMOS ENERGY
BY: _____

AT&T
BY: _____

OPTIMUM
BY: _____

ASTOUND BROADBAND
BY: _____

ONCOR ELECTRIC DELIVERY
BY: _____

PROPERTY OWNER



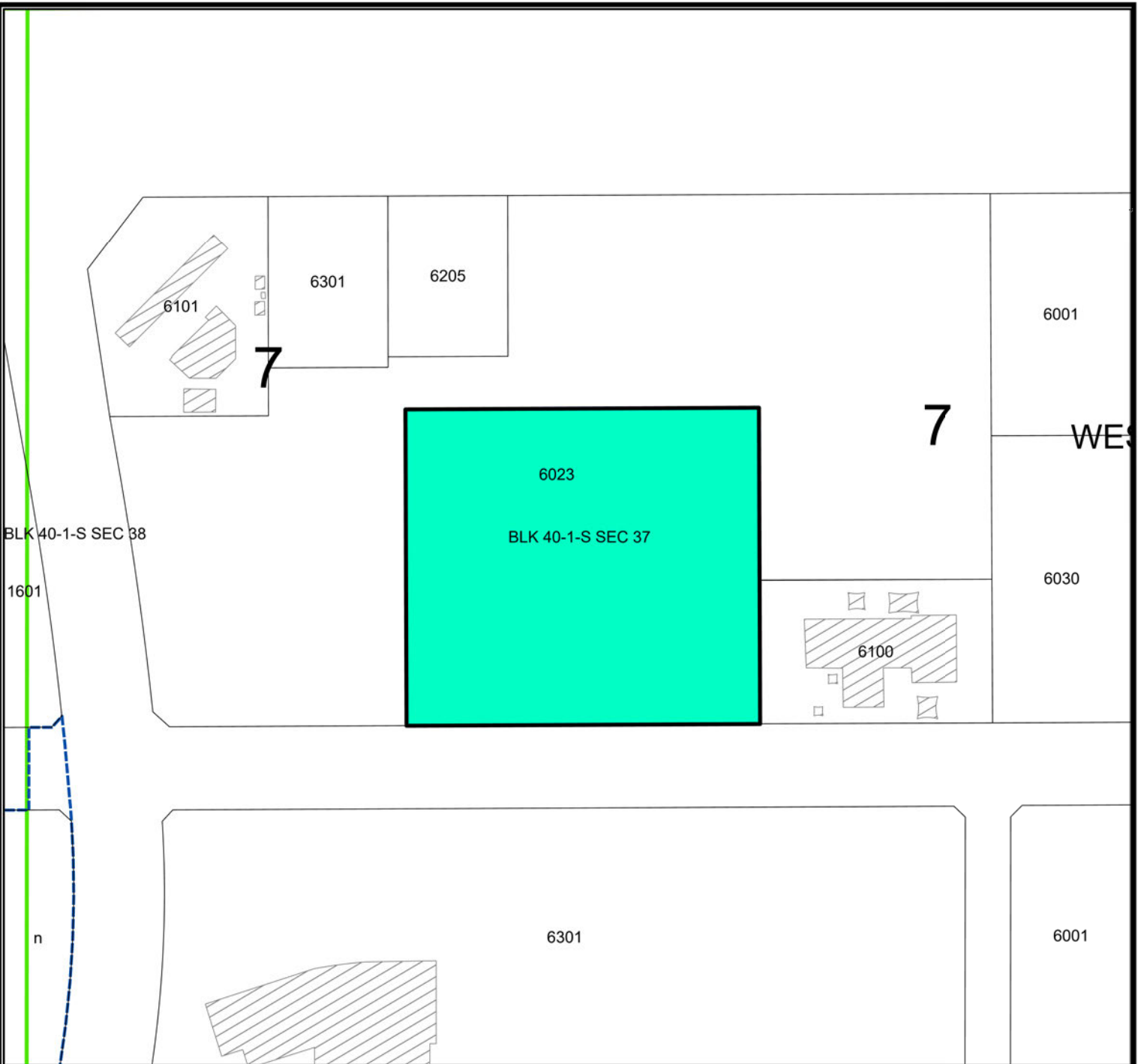
PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS

NO. _____
DATE _____



1300 W. Illinois Avenue
Midland, Texas 79701
ENGINEER FIRM #: F-15089
SURVEY FIRM #: 10194514
Tel: (432) 262-0999 Fax: (432) 262-0989
www.Maverick-Eng.com

WESTRIDGE PARK ADDITION SECTION 61



Location Map

SUB-26-0977

Scale: 1" = 191'

Proposed plat of Westridge Park Addition, Section 61, being a replat of a 4.497-acre tract of land out of Lot 10, Block 7, Westridge Park Addition, Section 39, City and County of Midland, Texas.

Generally located on the north side of Deauville Boulevard, approximately 285 feet west of Griffith Drive. (Council District 4)

LEGEND

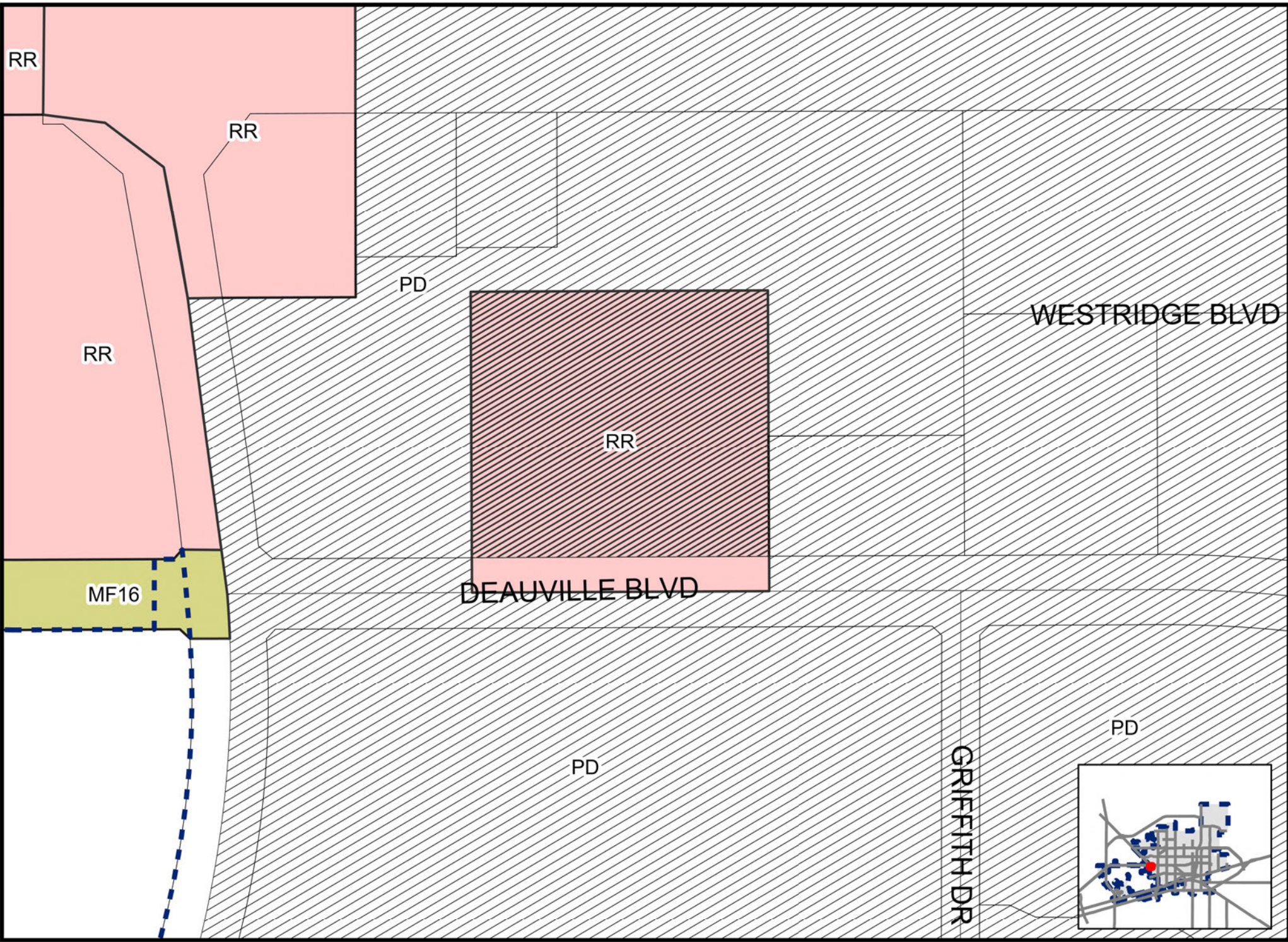
- - - CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021

THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.

THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.





7

7

6023
10



AVALON

DEAUVILLE

GRIFFITH

WESTRIDGE

9 6001

58 6030

6100

6A

10A 6301

10B 6205

6100



ITEM
PRELIMINARY PLAT
WESTRIDGE PARK ADDITION, SECTION 61

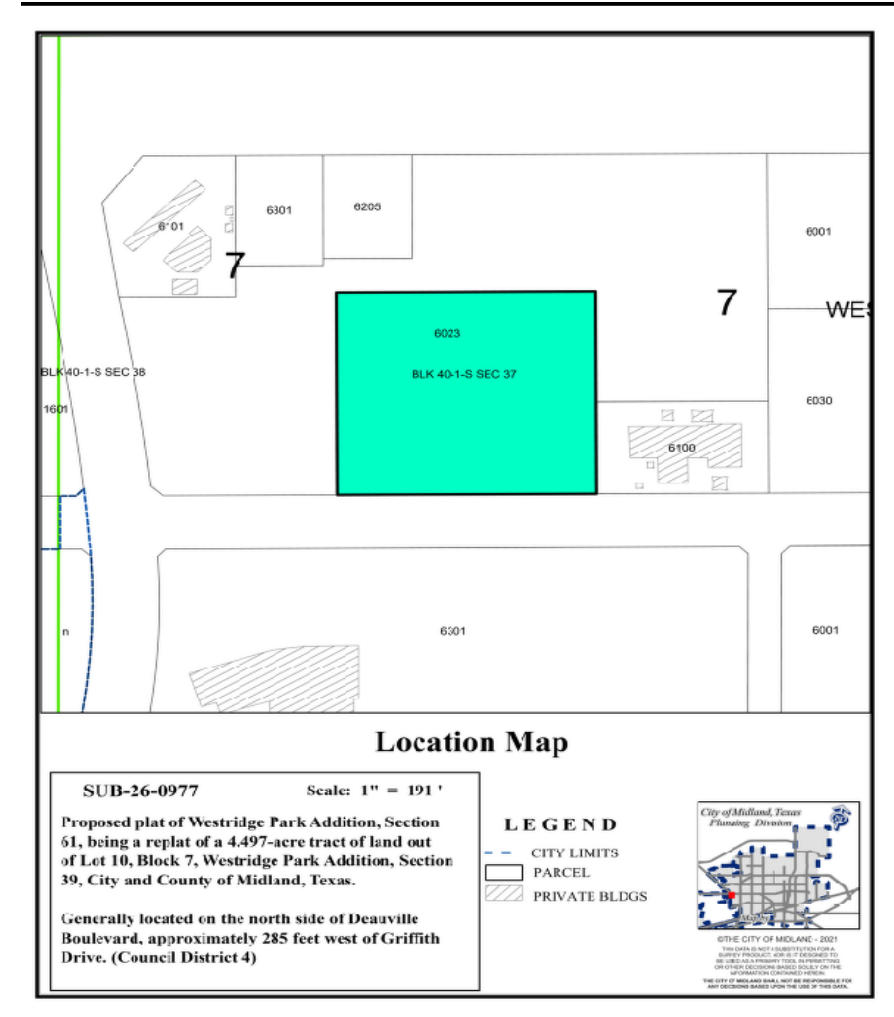


Visit Our Website

MIDLANDTEXAS.GOV

APPLICATION SUMMARY

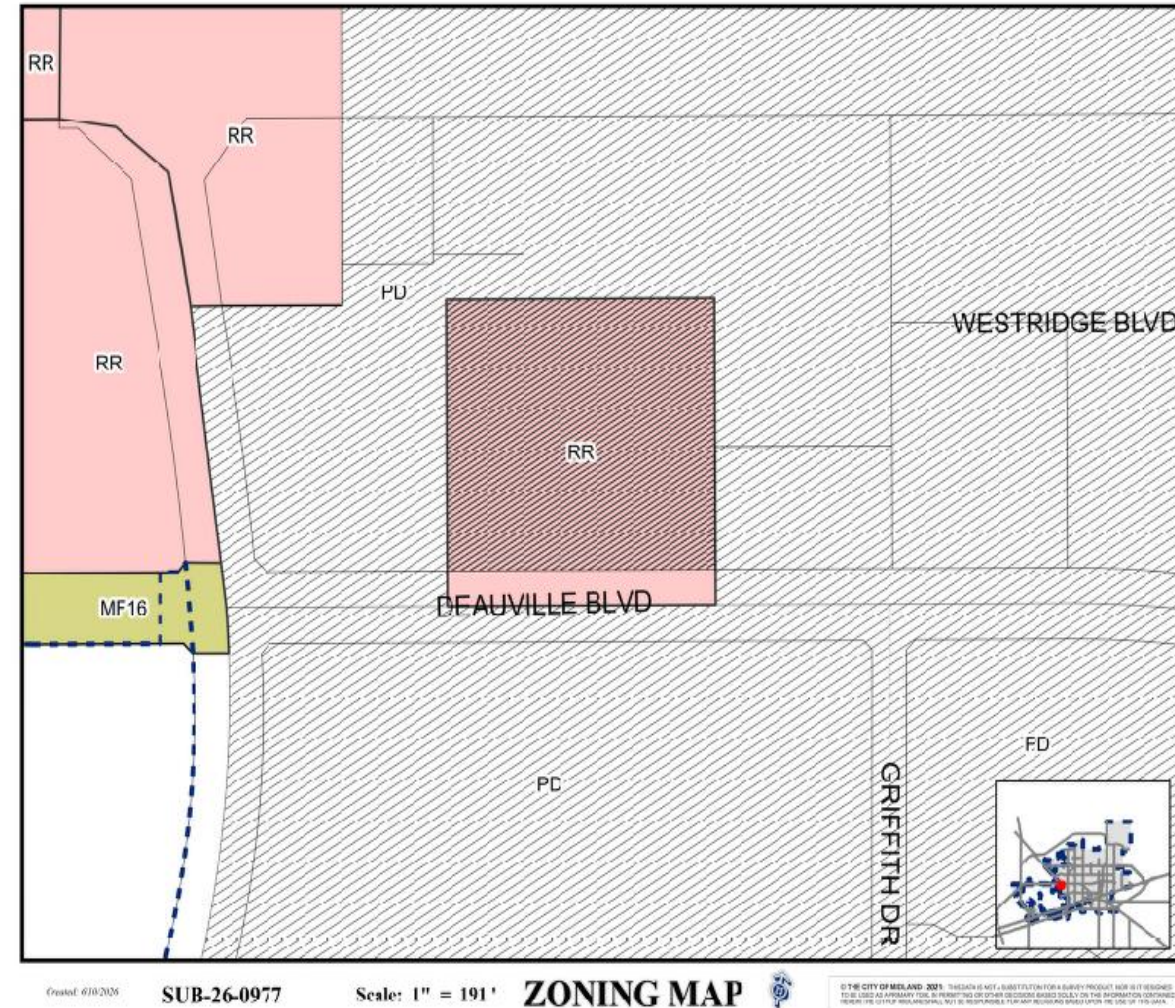
- **Property Owner:** Laramie Investments
- **Representative/Applicant:** Maverick Engineering
- **Location:** Generally located on the north side of Deauville Boulevard, approximately 285 feet west of Griffith Drive. (Council District 4)
- **Reason for Request:** Platting for future commercial development



ZONING

Current Zoning: RR, Regional Retail

- **Surrounding Zoning:**
 - **North/East/South/West:** PD, Planned Development District for a Shopping Center



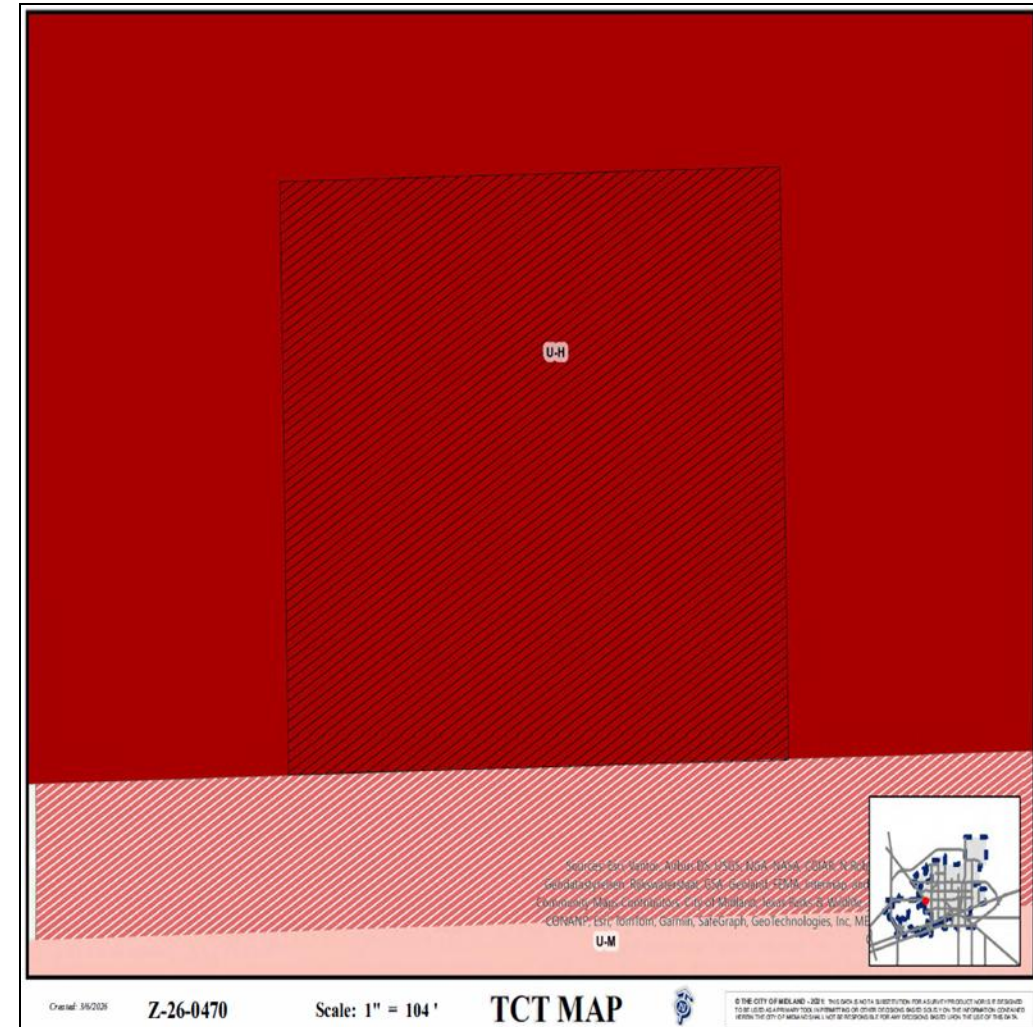
LAND USE

- **Current Use:** Vacant Land
- **Surrounding Uses:**
 - **North/West:** Vacant Land
 - **East:** Vacant Land and a School
 - **South:** Office Building
- **Proposed Use:** Indoor amusement & restaurant



COMPREHENSIVE PLAN

- **Land Use Designation:** Urban-High, (U-H)
- **Supported Uses:** A mix of complementary uses, including multi-family residential, large offices, medical buildings, regional commercial, limited industrial, institutional uses such as churches, schools, or hospitals, and other regional attractors.



STAFF'S RECOMMENDATION

- Staff recommends approval of this request with the following condition:
 - A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 20.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Motion approving, with staff's recommended conditions, a Preliminary Plat of Highland Park Extension, Section 3, being a 5.32-acre tract of land out of section 27, Block 39, T-1-S, T&P RR Co. Survey, City and County of Midland, Texas (Generally located at the northeast corner of the intersection of West Louisiana Avenue and N Street)

Purpose:

Maverick Engineering, on behalf of Midland ISD, is requesting to plat a property located at 2000 West Louisiana Avenue into one lot.

Recommended Action:

Approve

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

SF2, Single-Family Dwelling District

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

No issues. All future structures must adhere to the 2018 International Building Codes, the 2015 International Energy Code, the 2023 NEC requirements, the 2015 International Fire Codes, local city ordinances, planning/zoning requirements, established setbacks, Health department regulations, oil and gas considerations, and floodplain requirements if necessary. Code versions are subject to change depending on the time of new code editions adopted in the City of Midland and date of permit application.

ENGINEERING: (Approved)

IMPACT FEES: Okay as shown. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.]

PAVING: 'N' roadway okay as is. Louisiana roadway okay as is. No public paving improvements required. [For Applicant's Information Only.]

WATER: 8" water exists in Louisiana Street, okay as is. No public water improvements required. [For Applicant's Information Only.]

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: 8" sewer exists in between the buildings, okay as is. No public wastewater improvements required. [For Applicant's Information Only.]

DRAINAGE: Existing site is developed; If proposing to re-develop site drainage can be reviewed with building permit. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

SIDEWALKS: Required with building permit. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

TRANSPORTATION: (Approved)

No additions or changes to site access are approved with plat or zoning review. Driveways or other access points are approved only with construction drawing review. [For the Applicant's information only.]

No objections to plat. [For the Applicant's information only.]

OIL AND GAS: (Approved)

No Oil & Gas issues

GIS: (Approved)

No comments.

ADDRESSING: (Approved)

Add POB & 2nd Pair of Coordinates – Corrected

HEALTH: (Approved)

The lot is close to a public sewer line, no need for a septic system.

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat and has no objection at this time. This review is limited to preliminary plat considerations only and does not constitute full fire code approval. All future development shall comply with the 2015 International Fire Code (IFC) and local amendments, including but not limited to fire apparatus access (IFC §503), water supply and fire flow (IFC §507), fire hydrant placement (§507.5), and fire protection systems (§903), which will be reviewed at the time of civil plan and building permit submittal.

PLANNING: (Approved with Conditions)

Groundwater is not being used for this subdivision. Instead, the subdivision will be served by City utilities. [Informational]

Staff recommends approval of the Preliminary Plat of Highland Park Extension, Section 3, subject to the following conditions:

Conditions:

- A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

Attachments:

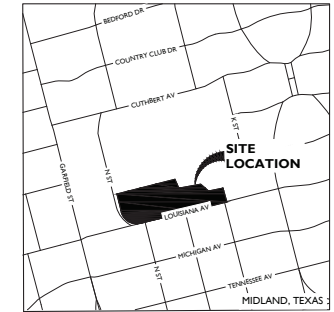
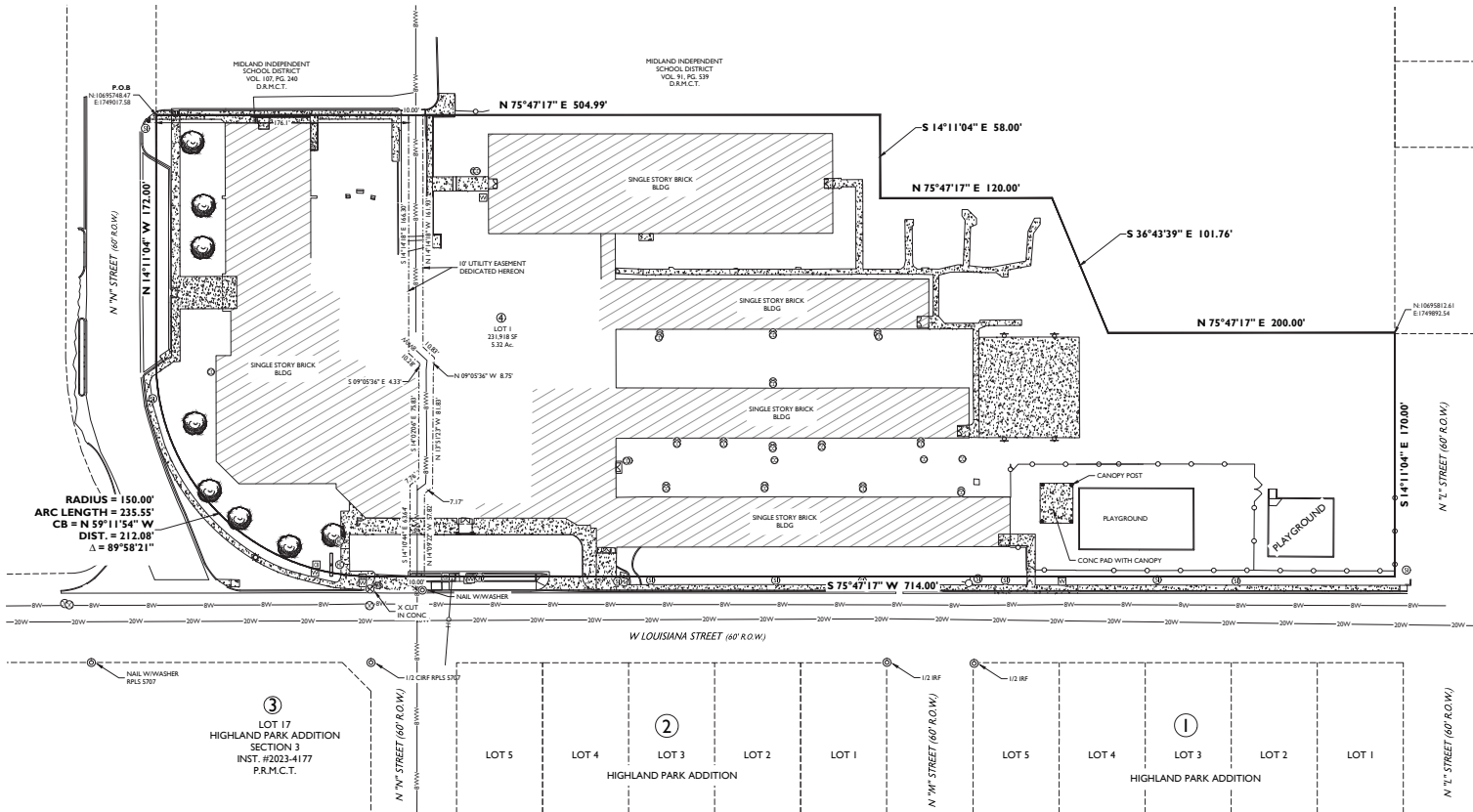
- A. P-26-2568, Combined files
- B. P&Z- - Highland Park Extension, Section 3 Preliminary Plat

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

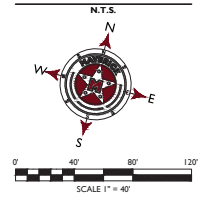
Created/Initiated - 6/11/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT HIGHLAND PARK EXTENSION, SECTION 3

BEING A 5.32 ACRE TRACT OF LAND SITUATED IN SECTION 27, BLOCK 39, T-I-S, T&P RAILWAY CO. SURVEY, CITY AND COUNTY OF MIDLAND, TEXAS



VICINITY MAP



LEGEND

- DENOTES EXISTING CLEANOUT
- DENOTES EXISTING WATER VALVE
- DENOTES EXISTING WATER METER
- DENOTES EXISTING CABLE BOX
- DENOTES EXISTING SIGN
- DENOTES EXISTING BASKETBALL HOOP
- DENOTES BOUNDARY
- DENOTES EXISTING PROPERTY LINES
- DENOTES PROPOSED EASEMENT LINES
- DENOTES EXISTING OVERHEAD ELECTRIC LINE
- DENOTES EXISTING CHAIN LINK FENCE
- DENOTES EXISTING 6" WATER MAIN
- DENOTES EXISTING 8" WATER MAIN
- DENOTES EXISTING 12" WATER MAIN
- DENOTES EXISTING 18" WATER MAIN
- DENOTES EXISTING CONCRETE

PRELIMINARY - THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE

SURVEY NOTES:

- BASE OF BEARING, COORDINATES, DISTANCE AND ACRES ARE A LAMBERT CONICAL PROJECTION OF THE TEXAS COORDINATE SYSTEM, STATE PLANE GRID, CENTRAL ZONE, NAD 83. U.S. SURVEY FOOT WITH A CONVERSION ANGLE (theta) OF -0°56'48.80" AND A COMBINED SCALE FACTOR OF 0.99999811 AT NGS "MIDLAND".
- 1/2" IRON ROD WITH RED PLASTIC CAP MARKED "MAVERICK FIRM # 1019431" AT ALL SET CORNERS UNLESS OTHERWISE RECORDED.
- SEE DOCUMENTS OR ELECTRONIC DATA FILED IN THE OFFICE OF MAVERICK ENGINEERING FOR COMPLETE RECONSTRUCTION OF THIS SURVEY.
- LOCATION OF BURIED UTILITIES AND PRESENCE IF ANY, IS APPROXIMATE BASED UPON OBSERVED EXISTING RECORDS, CITY OF MIDLAND GIS AND VISUAL EVIDENCE, OR BY ONE CALL #1-800-485-4848 AT THE TIME OF THIS SURVEY. DUE CARE IS RECOMMENDED. CALL 1-800-485-4848 FOR LOCATES PRIOR TO ANY CONSTRUCTION OR EXCAVATION.
- THIS IS A PROVISIONAL PRELIMINARY PLAT. THIS IS NOT TO BE RECORDED OR USED FOR CONSTRUCTION PURPOSES. SET ADJUSTMENTS SHOWN HEREON ARE ALSO PRELIMINARY AND SHALL ONLY BE MADE IN ACCORDANCE WITH A FINAL SURVEY LEASED BY THE SURVEYOR OF RECORD.

DEVELOPMENT NOTES:

- SELLING A PORTION OF THIS ADDITION BY METES AND BOUNDS MAY BE A VIOLATION OF CITY ORDINANCE AND STATE LAW AND SUBJECT TO FINES AND WITHDRAWING OF UTILITIES AND BUILDING PERMITS.
- APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
- THE INSTALLATION OF IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS:
 - THE REPRESENTED LOTS (ARE) SEPARATED FOR SUBDIVISION INTO MORE THAN ONE LOT OR;
 - THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
- INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE PERMITTING PROCESS. ADDITIONAL IMPACT FEES OR INCREASES IN FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.

OWNER'S CERTIFICATE
THE STATE OF TEXAS
COUNTY OF MIDLAND

WHEREAS THE MIDLAND INDEPENDENT SCHOOL DISTRICT IS THE RECORD OWNER OF A TRACT OF LAND SITUATED IN SECTION 27, BLOCK 39, T-I-S, T&P RAILWAY CO. SURVEY, CITY AND COUNTY OF MIDLAND, TEXAS;

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT THE MIDLAND INDEPENDENT SCHOOL DISTRICT, DOES HEREBY ADOPT THIS PLAT, DESIGNATING THE HERENAIVE DESCRIBED PROPERTY AS HIGHLAND PARK EXTENSION, SECTION 3, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND, HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS THIS _____ DAY OF _____, 2024.

UTILITY COMPANY'S CERTIFICATE

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES.

XITROS ENERGY
BY: _____

XTEY
BY: _____

OPTIMUM
BY: _____

XSTODARD BROADBAND
BY: _____

ONCOR ELECTRIC DELIVERY
BY: _____

PROPERTY OWNER

MIDLAND INDEPENDENT SCHOOL DISTRICT
415 W MISSOURI AVE
MIDLAND, TX 79701 - 5017
DEED INSTRUMENT # _____
PHONE # 432-246-1088

FEMA NOTE

FLOOD STATEMENT: ACCORDING TO FEMA'S NFIP FLOOD INSURANCE RATE MAP #48329C0086 DATED SEPTEMBER 14, 2008, THIS PROPERTY IS WITHIN THE UNDESIGNED PORTION OF ZONE "X", DESIGNATED AS "AREAS DETERMINED TO BE OUTSIDE THE 2% ANNUAL CHANCE FLOODWAY".

THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR THE STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY WINDSTORMS OR NATURAL CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF MAVERICK CIVIL & SURVEY, L.L.C.

CERTIFICATE OF APPROVAL
FOR APPROVAL BY COMMISSION:

THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF HIGHLAND PARK EXTENSION, SECTION 3, WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, TEXAS ON THIS _____ DAY OF _____, 2024.

JOSUPE SANCHEZ, CHAIRMAN
LEONOR OCHOA, SECRETARY

ACKNOWLEDGEMENT

THE STATE OF TEXAS
COUNTY OF MIDLAND

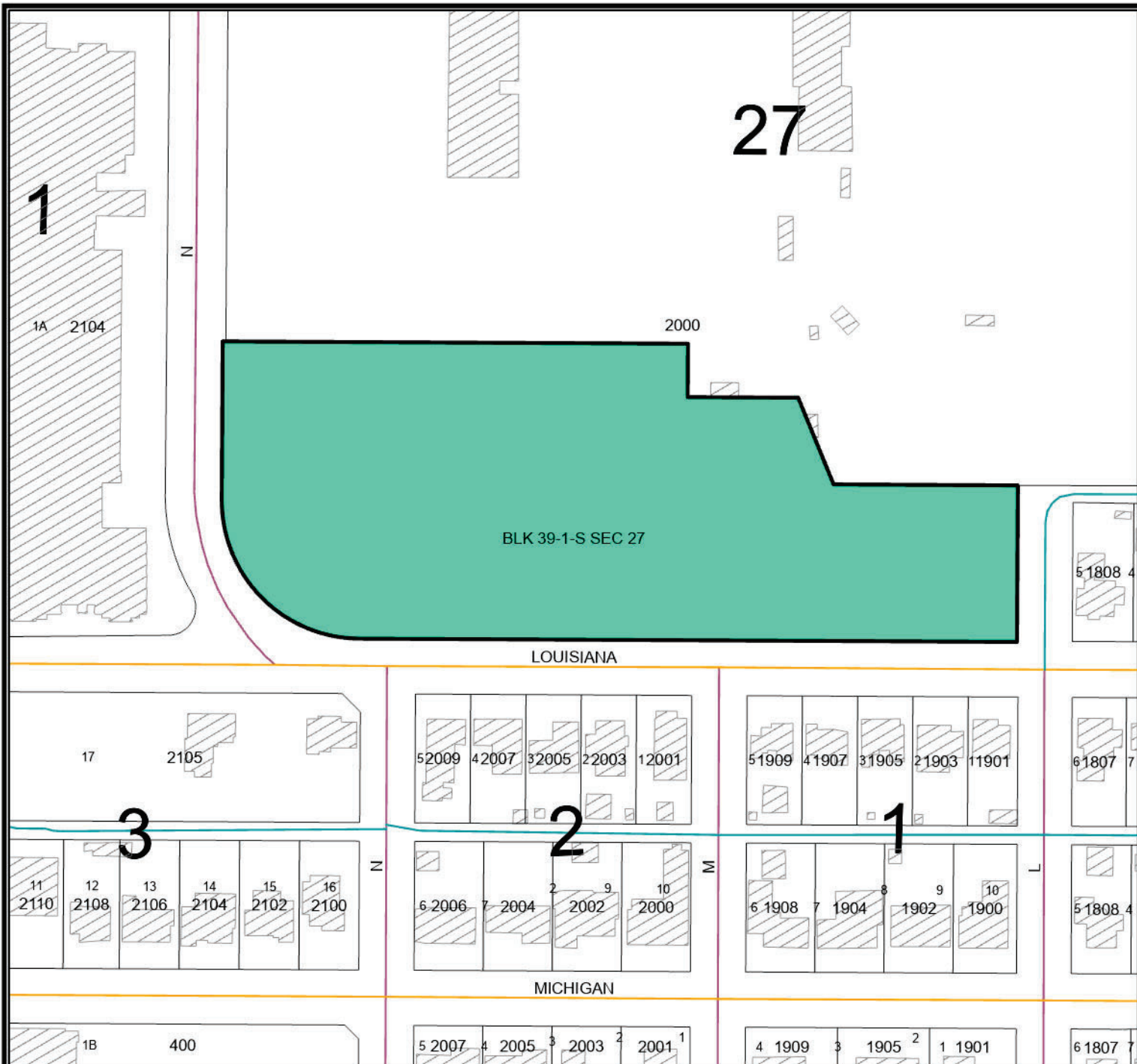
THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____, 2024.

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



HIGHLAND PARK EXTENSION SECTION 3

Drawing: F20240401 | MIDLAND SCHOOL DISTRICT-MIDLAND INDEPENDENT SCHOOL DISTRICT SURVEY PACKAGE | DRAWING/PLAT/SAN HOUSTON/04011 | PRELIMINARY PLAT SAN HOUSTON/04011 | Last saved by: Dkay | 04/01/2024



Location Map

SUB-26-0982

Scale: 1" = 157'

Proposed plat of Highland Park Extension, Section 3, being a 5.32-acre tract of land out of section 27, Block 39, T-1-S, T&P Railway Co. Survey, City and County of Midland, Texas.

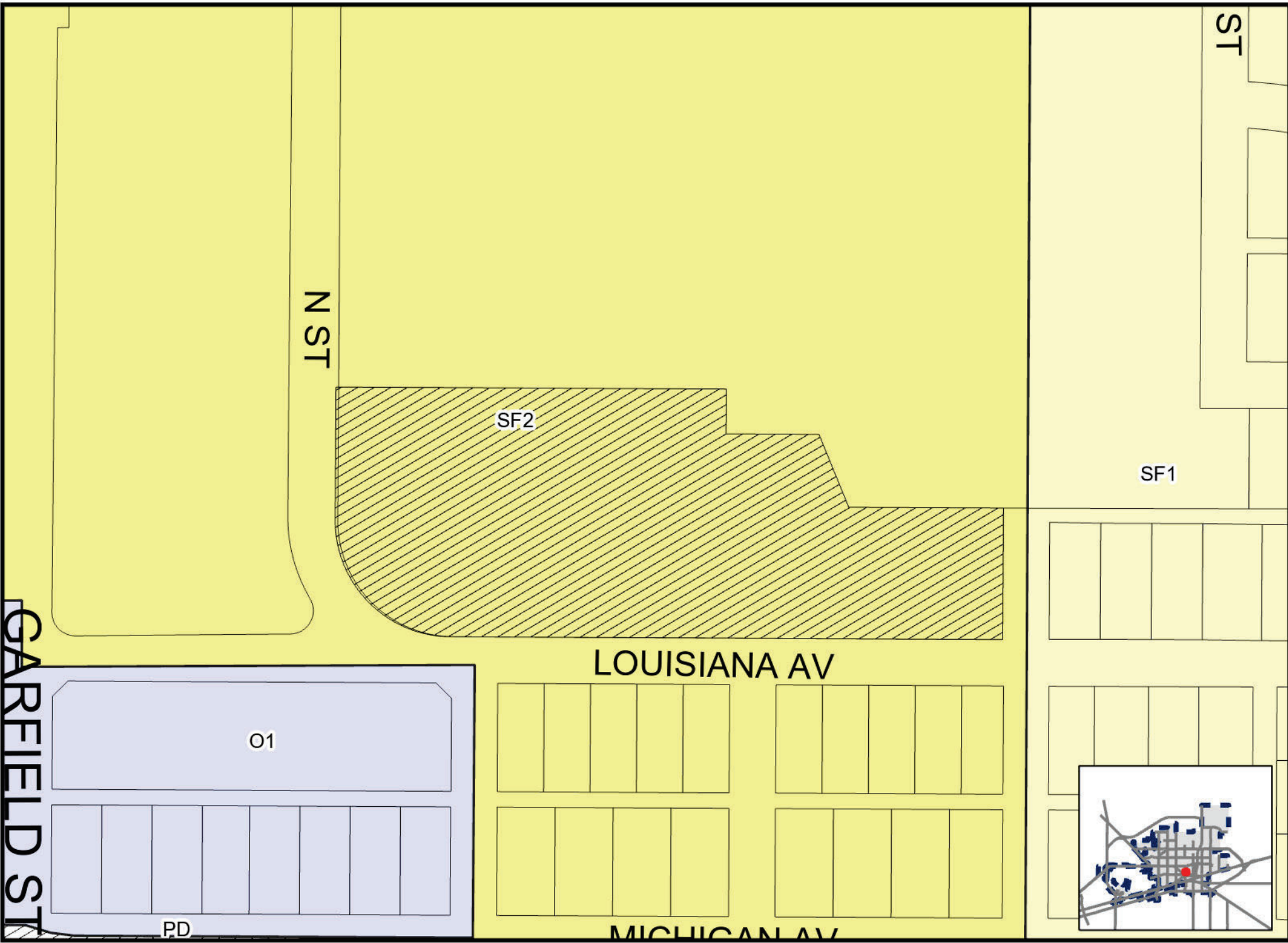
Generally located at the northeast corner of the intersection of West Louisiana Avenue and N Street. (Council District 3)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT. NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.







PRELIMINARY PLAT HIGHLAND PARK EXTENSION, SECTION 3

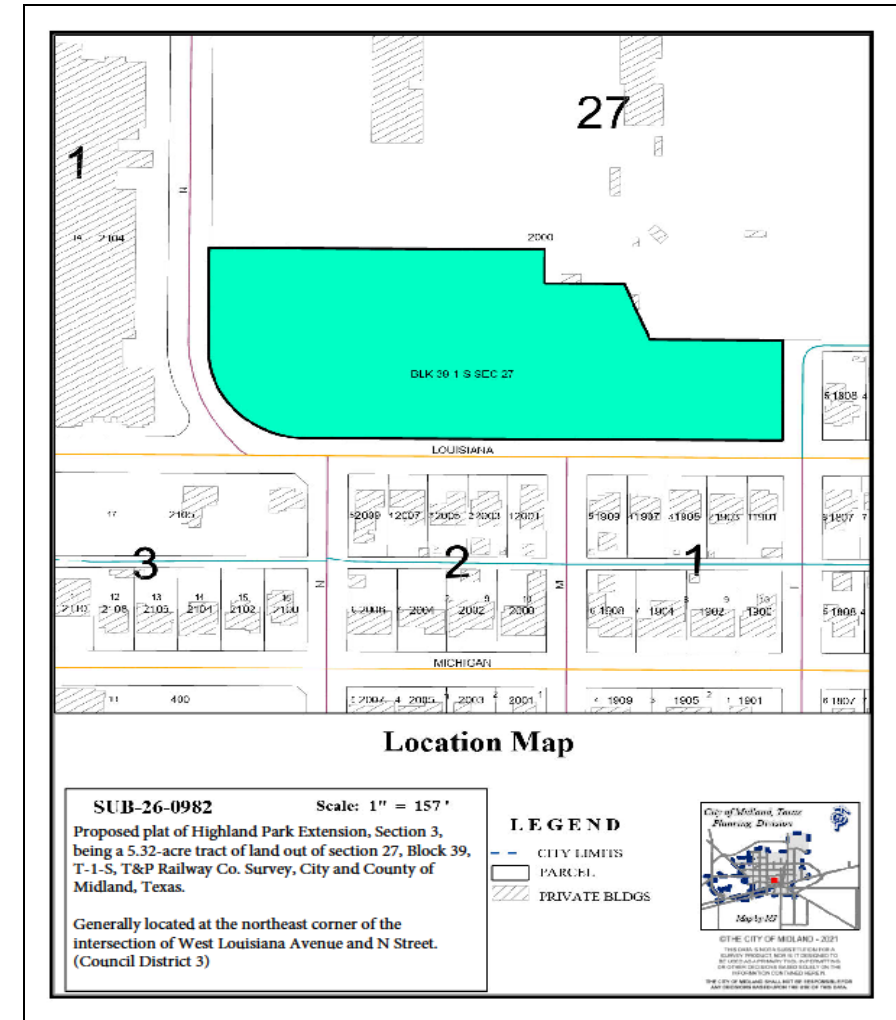


Visit Our Website

MIDLANDTEXAS.GOV

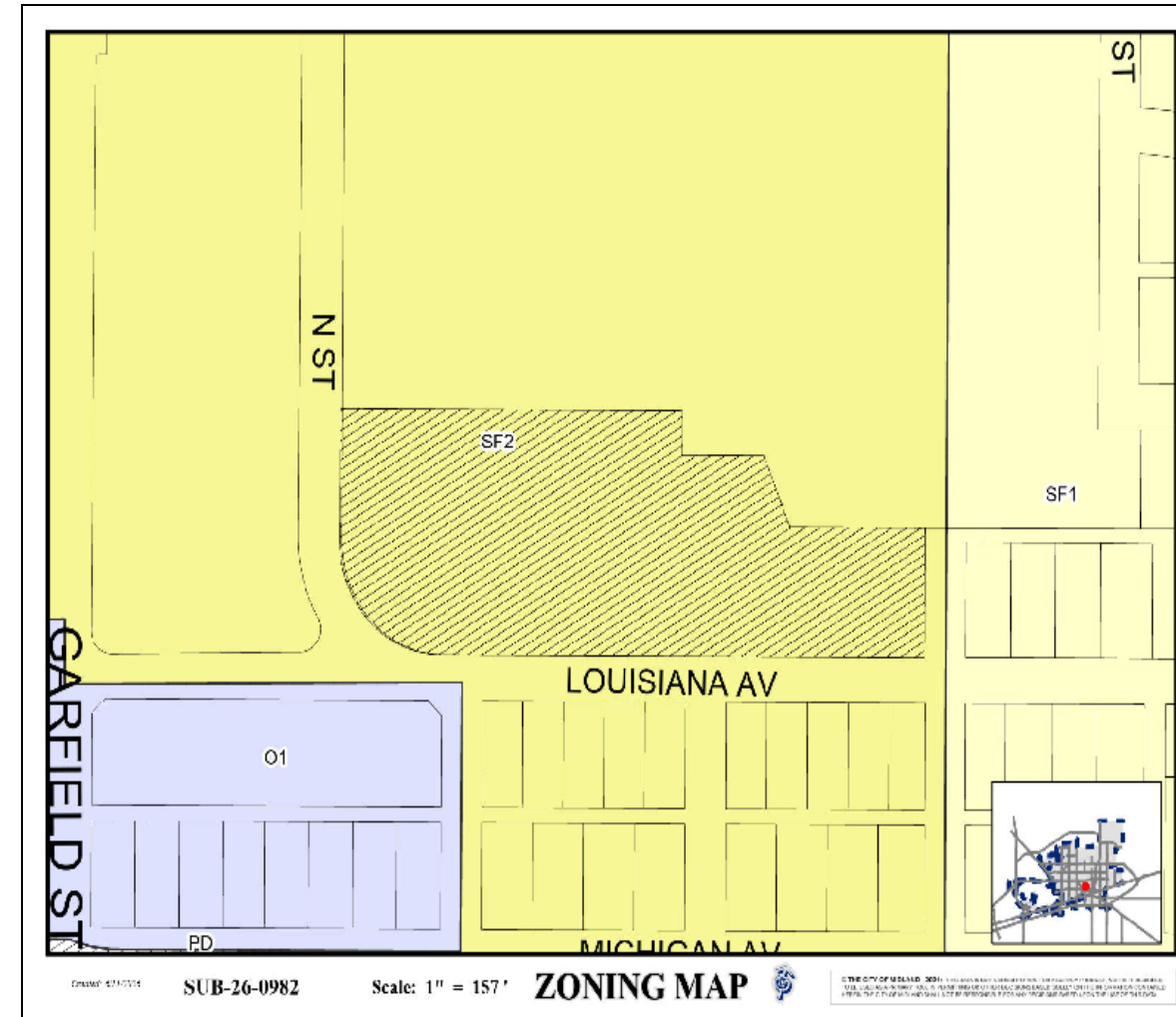
APPLICATION SUMMARY

- **Property Owner:** Midland ISD
- **Representative:** Maverick Engineering
- **Location:** 2000 West Louisiana Ave (District 3)
- **Reason for Request:** Initial platting



ZONING

- **Current Zoning:** SF-2, Single-Family Dwelling District
- **Surrounding Zoning:**
 - **North/West:** SF-2, Single-Family Dwelling District
 - **South:** SF-2, Single-Family Dwelling District and O1, Office District
 - **East:** SF-1, Single-Family Dwelling District



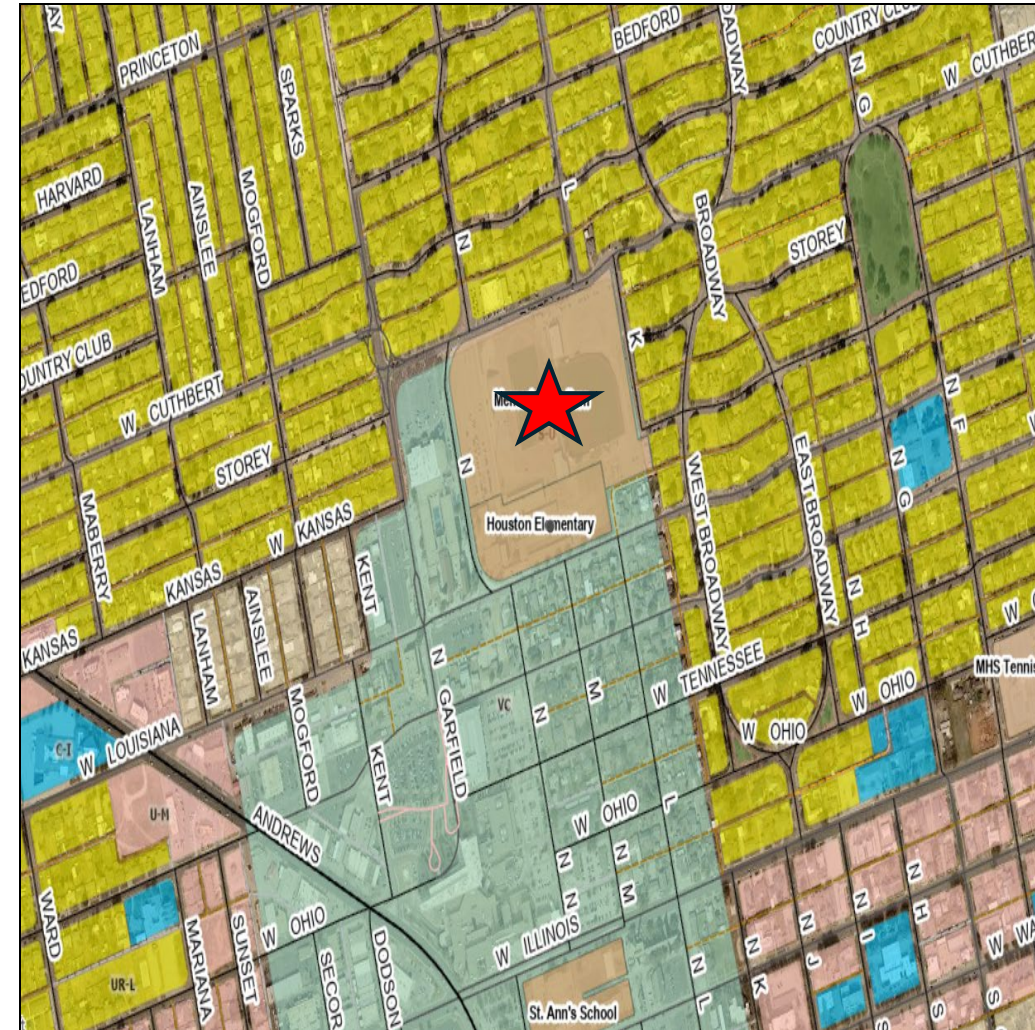
LAND USE

- **Current Use:** Elementary School
- **Surrounding Uses:**
 - **North:** Stadium
 - **South/East:** Residential
 - **West:** Church



COMPREHENSIVE PLAN

- **Land Use Designation:** School/ University
- **Supported Uses:** [Educational: Public, private and parochial institutions.
- The request is compatible with the *Tall City Tomorrow Comprehensive Plan*.



STAFF'S RECOMMENDATION

- Staff recommends approval of this request with the following conditions:
 - A. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

7



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.





Planning and Zoning Commission Meeting

Item Number: 21.
Meeting Date: June 15, 2026
To: Planning and Zoning Commission
From: Madelim Jaquez, Planner
Subject: Motion approving a Preliminary Plat of Redneck Retreat, Section 8 being a plat of a 10-acre tract of land in the north half of B F Wolcott Survey, Block 38, T-2-S, Midland County, Texas. (Generally located on the west side of South County Road 1160, approximately 1,580 feet south of East County Road 140)

Purpose:

Magrym Consulting, on behalf of Texas Pelican Properties 8, LLC, is requesting to plat a property generally located on the west side of South County Road 1160, approximately 1,580 feet south of East County Road 1140 into two lots in order to obtain septic permits and addresses.

Recommended Action:

Deny

Fiscal Impact:

No impact

Strategic Priority:

QUALITY OF LIFE AND PLACE

Discussion:

Current Zoning:

Extraterritorial Jurisdiction

This request has been routed to all respective departments for internal review. The comments are below.

BUILDING CODE: (Approved)

ETJ, no jurisdiction

ENGINEERING: (Denied)

*** Denied per City Code Sect. 11-2-3(D)8. Drainage report is required during preliminary stage of the platting process. ***

IMPACT FEES: There are no impact fees associated with this plat. Plat outside designated service areas. Note not required. [For Applicant's Information Only.]

ROW: Refer to transportation's comments, if any. [For Applicant's Information Only.]

PAVING: CR 1160 road is sub-standard, construct to City Standards for entire platted frontage or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)]

WATER: None existing. Construct water to City standards along entire platted frontage, or request a deferral. [Reference City Code Section 11-2-3(G)1 & 11-2-4(A)2(a)] GAC has been filled out in accordance with state regulations but the water is not drinking water quality.

FIRE HYDRANTS: Required as needed to meet NFPA, IFC & City Fire Code; and/or comply with directives of City Fire Marshal. After January 14, 2020 - Fire hydrants shall be spaced no more than 500' apart, Pressure Indicator Rings are to be installed and will require the developers/contractors to pay for the flow test. [For Applicant's Information Only.]

PRO RATA: None. [For Applicant's Information Only.]

SEWER: None existing. Construct wastewater to City standards along entire platted frontage, or request a deferral. [Reference Midland City Code Sect. 11-2-3(G)1 & 11-2-4(A)2(a)]

DRAINAGE: Drainage letter comments were sent back on 5/4/2026, revise and resubmit. [For Applicant's Information Only.]

EASEMENTS: Show existing and proposed. [For Applicant's Information Only.]

DIMENSION: * * *

OTHER: * * *

TRANSPORTATION: (Approved)

No objections to plat. [For the Applicant's information only.]

OIL AND GAS: (Approved with Conditions)

Not in the City limits- no oil or gas jurisdiction. This area has non-permitted well and the required minimum distance from any structure to a wellbore is 135'. Please add a 135' radius around the well bore of the JV EDITH DRAKE #2 (API# 32939149). Failure to recognize and illustrate spacing could prevent receiving city permits for structures. Please provide evidence of communication between the developer and the operator (Pioneer Natural Resources) concerning proximity to well, tank batteries, flares, flowline/pipeline locations and set-backs for each. If the property contains ingress and egress relating to Oil & Gas property please include in the evidence of communication. (Well is currently in T&A status, spacing must be observed until official P&A occurs) After P&A Locate and Identify on the plat, the P&A wellbore. Add to Developers Notes - No structure shall be built over a plugged and abandoned (P&A) well.

GIS: (Approved)

Block and lot are already in use. Continue block and lot from Redneck Retreat, Sec 7. Provide acreage or sq. ft. or dedication. Check that all owners are on the plat. Are there two lots?

ADDRESSING: (Approved)

County Plat - To be addressed by MECD

HEALTH: (Approved)

Yes, the health department will review applications from the 2 proposed lots of REDNECK RETREAT SECTION 8, PLAT OF A 10 ACRE TRACT OF LAND OUT OF THE NORTH HALF OF B F WALCOTT SURVEY, BLOCK 38, T-2-S, T. & P. RR. CO. SURVEY lot 1 is 5.7 acre, lot 2 is 4.2 acre, property owner must contact the pipeline company to get the setback to their pipeline before any excavation can occur to ensure the proposed plans on the application for the septic system will meet the setbacks from the water well on the property and the water wells on the adjacent properties.

CRMWD: (Approved)

We do not have any comments on this plat.

MIDLAND COUNTY: (Approved)

Provide 30 feet ROW

FIRE: (Approved)

The Fire Department has reviewed the preliminary plat located within the Extraterritorial Jurisdiction (ETJ) and has no objection at this time. The applicant is advised to coordinate with the appropriate fire authority with jurisdiction to ensure compliance with all applicable fire code requirements, including, but not limited to, fire apparatus access and water supply for fire protection.

PLANNING: (Denied)

Denied per City Code Sect. [11-2-3(D)8] Drainage report is required during preliminary stage of the platting process.

Legal description should read "Being a plat of a 10-acre tract of land in the north half of B F Wlocott Survey, Block 38, T-2-S, Midland County, Texas. [Informational]

Groundwater is being used for this subdivision. [Informational]

Names of abutting property owners with volume/page information (if raw, unplatted) Please include volume/page information [11-2-3(A)1(d)]

Include language stating: "Notice: Selling a portion of this addition by metes and bounds may be a violation of City ordinance and state law and subject to fines and withholding of utilities and building permits." [11-2-3(H)3(b)(1)]

Staff recommends denial of the Preliminary Plat of Redneck Retreat, Section 8.

Should Planning and Zoning approve this plat, staff recommends that it be subject to the following conditions:

Conditions:

- A. Drainage report must be approved by Preliminary Plat submittal. [11-2-3(D)8]**
- B. Public improvements must be completed or a request for a deferral letter must be submitted by Final Plat submittal. [11-2-3(G)1]**
- C. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]**

Attachments:

- A. P-26-2557, Combined files
- B. P&Z - - Denial - Redneck Retreat, Section 8 - Copy

Madelim Jaquez, Development Services
Landon Ochoa, Development Services

Created/Initiated - 6/12/2026
Final Approval - 6/12/2026

PRELIMINARY PLAT

REDNECK RETREAT SECTION 8

BEING A 10.00 ACRE TRACT
IN THE NORTH HALF OF B F WALCOTT SURVEY,
BLOCK 38, T-2-S, MIDLAND COUNTY, TEXAS

STATE OF TEXAS §
COUNTY OF MIDLAND §

OWNER'S CERTIFICATE:

WHEREAS, TEXAS PELICAN PROPERTIES 8 LLC ARE THE RECORD OWNER OF A TRACT OF LAND SITUATED IN THE NORTH HALF OF B F WALCOTT SURVEY, BLOCK 38, T-2-S, T & P, RR CO., MIDLAND COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED (AS FOLLOWS):

FIELD NOTE DESCRIPTION OF A 10.00 ACRE TRACT OF LAND, LOCATED IN NORTH HALF OF B F WALCOTT SURVEY, BLOCK 38, T-2-S, MIDLAND COUNTY, TEXAS, BEING A PART OF THAT CALLED 10.00 ACRE TRACT OF LAND DESCRIBED IN THE SPECIAL WARRANTY DEED DATED APRIL 22, 2025, TO TEXAS PELICAN PROPERTIES 8 LLC A TEXAS LIMITED LIABILITY COMPANY RECORDED IN DOCUMENT NUMBER 2025-8806 AND BEING A PART OF THAT CALLED 4.5 ACRE TRACT OF LAND DESCRIBED IN THE WARRANTY DEED DATED AUGUST 15, 2025 TO REDNECK DEVELOPMENT, L.L.C. A TEXAS LIMITED LIABILITY COMPANY RECORDED IN DOCUMENT NUMBER 2025-21246 OF THE OFFICIAL PUBLIC RECORDS MIDLAND COUNTY, TEXAS. SAID 10.00 ACRE TRACT DESCRIBED MORE FULLY BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A REINFB BAR SET (N 10671210.96, E 1776771.78) IN THE RIGHT-OF-WAY OF S COUNTY ROAD 1160 FOR THE SOUTHWEST CORNER OF THIS TRACT SAME BEING THE MOSTEASTERLY SOUTHEAST CORNER OF THAT CALLED 4.5 ACRE TRACT OF LAND;

THENCE SOUTH 75°36'38" WEST 582.47 FEET TO A REINFB BAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE NORTH 14°25'39" WEST 746.89 FEET TO A REINFB BAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE NORTH 75°21'54" EAST 581.91 FEET TO A REINFB BAR SET FOR IN THE WEST SOUTH COUNTY ROAD 1160 THE SOUTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 14°27'54" EAST 749.38 FEET TO THE PLACE OF BEGINNING.

AREA, BEARINGS AND DISTANCES SHOWN ARE GRID MEASUREMENTS BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.

ACKNOWLEDGEMENT:

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT I DO HEREBY ADOPT THIS PLAT DESIGNATING THE HEREIN ABOVE DESCRIBED PROPERTY AS REDNECK RETREAT SECTION 8, AN ADDITION TO THE CITY OF MIDLAND, TEXAS, AND, HEREBY DEDICATE TO THE PUBLIC USE FOREVER THE STREETS, ALLEYS AND EASEMENTS (AND PARKS) (AND PARKWAYS) (AND DRAINAGE BASINS) (INCLUDE ALL THAT APPLY) SHOWN THEREON.

WITNESS MY HAND AT MIDLAND, TEXAS, THIS _____ DAY OF _____ 20____

TEXAS PELICAN PROPERTIES 8 LLC

STATE OF TEXAS §
COUNTY OF MIDLAND §

THIS PLAT WAS ACKNOWLEDGED BEFORE ME ON THIS _____ DAY OF _____ 20____ BY TEXAS PELICAN PROPERTIES 8 LLC.

NOTARY PUBLIC
MIDLAND COUNTY, TEXAS

CERTIFICATE OF APPROVAL:

FOR APPROVAL BY THE THE CITY PLANNING AND ZONING COMMISSION:

THIS IS TO CERTIFY THAT THE ABOVE AND FOREGOING PLAT OF REDNECK RETREAT SECTION 8 WAS APPROVED BY PROPER ACTION OF THE CITY PLANNING AND ZONING COMMISSION OF THE CITY OF MIDLAND, ON THIS _____ DAY OF _____ 20____.

SIGNED: _____
CHAIRMAN: JOSHUA SPARKS

ATTEST: _____
SECRETARY: LANDON OCHOA

SURVEYOR'S CERTIFICATE:

THAT I, RJ DAUM, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT I PREPARED THIS PLAT FROM AN ACTUAL AND ACCURATE SURVEY OF THE LAND AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION, IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY AND COUNTY OF MIDLAND, TEXAS.



PLAT FILED FOR RECORD
MIDLAND COUNTY, TEXAS
NO. _____ CASE#ET
DATE _____ PAGE _____

OWNER(S):

TEXAS PELICAN PROPERTIES 8 LLC
PO BOX 1006
LOUGHOON, TN 37774
432-458-3718 OFFICE
ALOMA@REDNECKMETALBUILDINGS.COM

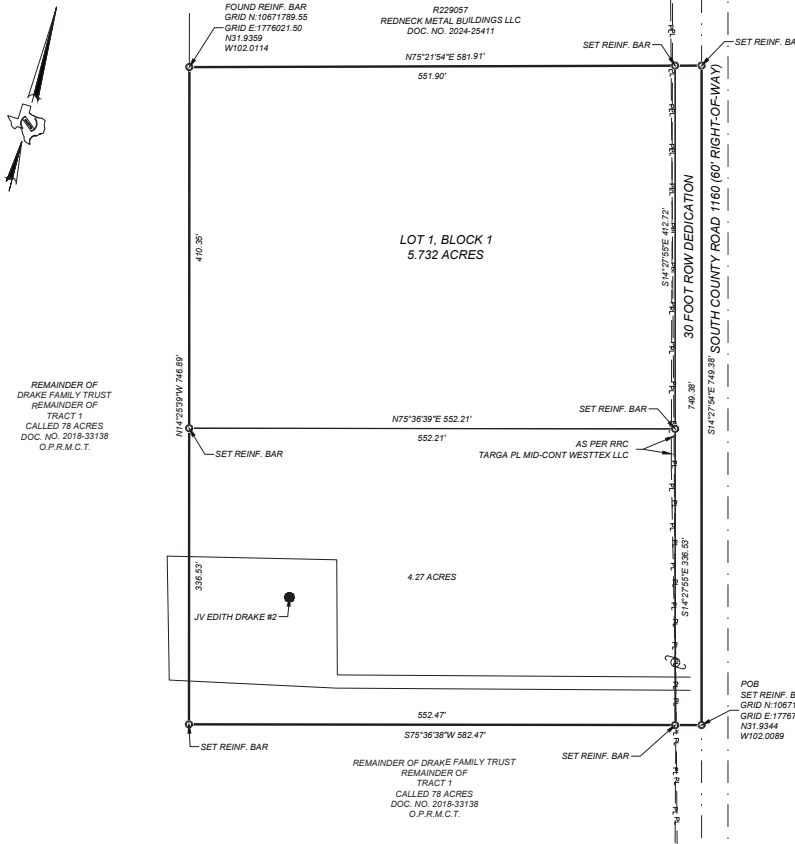
RJ DAUM
TEXAS RPLS 4826

DATE 09/15/2025	
DRAWN BY: ED	
CHECKED BY: ED/RJ	
JOB NO. 25-478	
PROJECT: 25-478	
SHEET 1 OF 1	REVISIONS



Magrym Consulting, Inc.
110 W. Louisiana Ave. Ste 312
Midland, TX 79701
(432) 684-5548
www.magrym.com

TX FIRM# 10149500

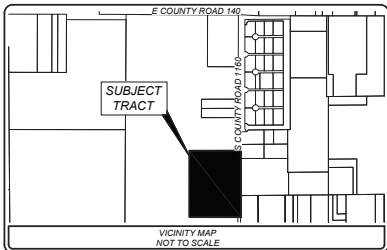


REMAINDER OF
DRAKE FAMILY TRUST
REMAINDER OF
TRACT 1
CALLED 78 ACRES
DOC. NO. 2018-33138
O.P.R.M.C.T.

LOT 1, BLOCK 1
5.732 ACRES

4.27 ACRES

REMAINDER OF DRAKE FAMILY TRUST
REMAINDER OF
TRACT 1
CALLED 78 ACRES
DOC. NO. 2018-33138
O.P.R.M.C.T.



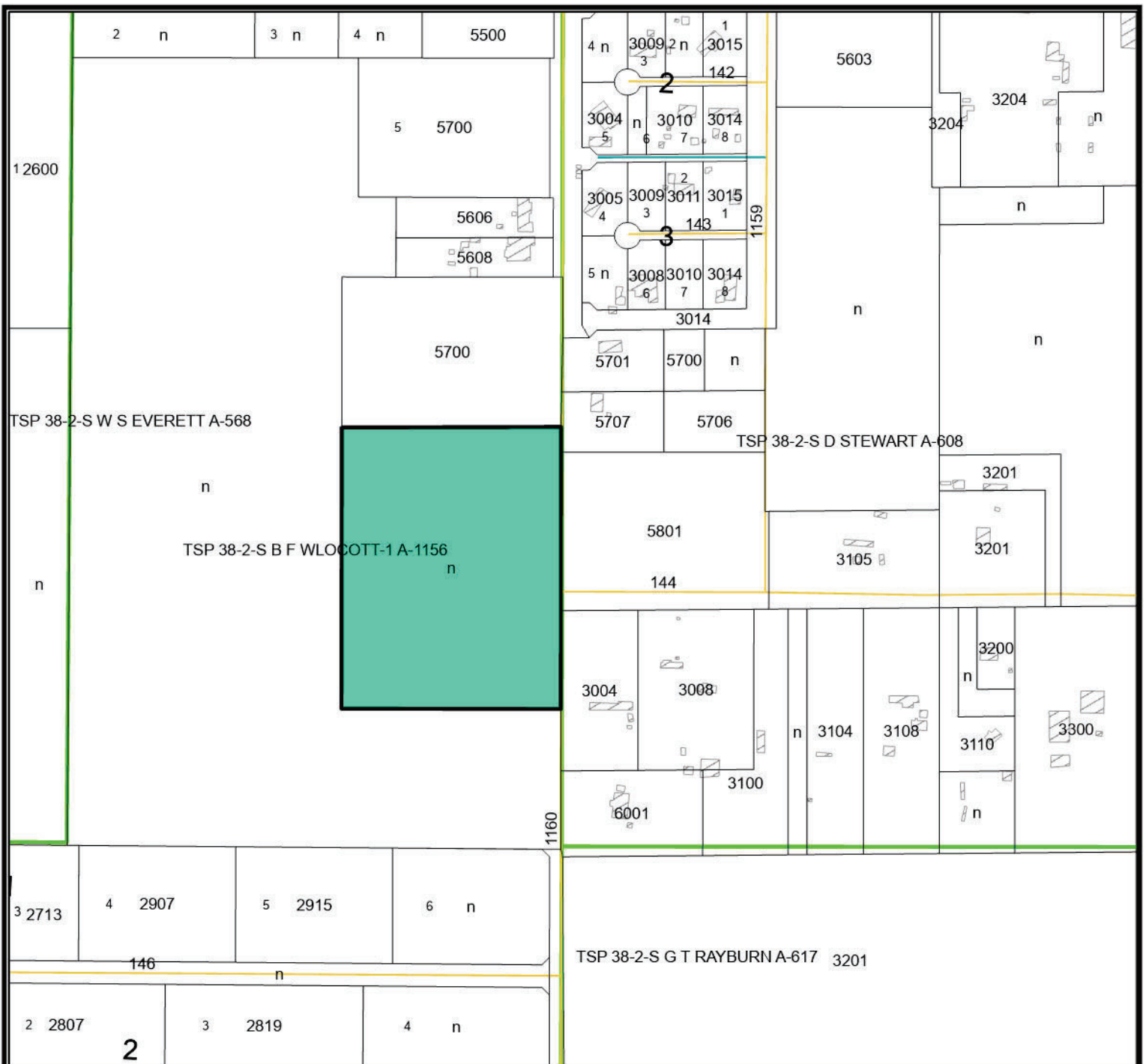
- LEGEND:
- OIL WELL
 - UTILITY POLE
 - UTILITY EASEMENT
 - MONUMENT AS DESCRIBED
 - PROPERTY LINE
 - ADJOINING PROPERTIES
 - ABSTRACT LINE

NOTES:

1. BEARINGS, DISTANCES AND ACREAGE SHOWN ARE BASED ON GPS OBSERVATIONS AND CONFORM TO THE "TEXAS COORDINATE SYSTEM" TEXAS CENTRAL ZONE, NORTH AMERICAN DATUM OF 1983.
2. MONUMENTS ARE A 1/2 INCH REINFORCING BAR SET WITH YELLOW PLASTIC CAP STAMPED "MAGRYM" UNLESS OTHERWISE NOTED.
3. APPROVAL OF A SITE PLAN BY THE CITY OF MIDLAND MAY BE REQUIRED BEFORE THE DEVELOPMENT OF ANY LOT AND BEFORE A BUILDING PERMIT MAY BE OBTAINED.
4. INITIAL IMPACT FEES WILL BE ASSESSED DURING THE FINAL PLATTING PROCESS. IMPLEMENTATION AND COLLECTION OF IMPACT FEES WILL TAKE PLACE DURING THE BUILDING PERMIT PROCESS. ADDITIONAL IMPACT FEES OR INCREASE OF FEES MAY NOT BE ASSESSED AGAINST THE TRACT UNLESS THE NUMBER OF SERVICE UNITS TO BE DEVELOPED ON THE TRACT INCREASES.
5. THE INSTALLATION OF PUBLIC IMPROVEMENTS MAY BE REQUIRED BY THE CITY OF MIDLAND AS SUCH TIME AS: (1) ANY LOT IS RE-PLATTED FOR SUBDIVISION INTO MORE THAN ONE TRACT OR (2) THE PROPERTY IS REZONED FOR A MORE INTENSIVE USE.
6. PROPERTY IS IN ZONE X ACCORDING TO FEMA MAP PANEL 48329C02177 WITH AN EFFECTIVE DATE OF 9/16/2005.
7. ANY PERSON WHO DESIRES TO ERECT A NEW STRUCTURE OR REBUILD, REPLACE OR ENLARGE AN EXISTING STRUCTURE, ESTABLISH A NEW USE OR SUBSTANTIALLY CHANGE AN EXISTING USE IN THE A02-4 MUST APPLY FOR AND RECEIVE A PERMIT. A PERMIT SHALL BE GRANTED UNLESS THE NEW STRUCTURE OR THE NEW USE WOULD BE A HEIGHT HAZARD OR A PROHIBITED LAND USE AS SET FORTH IN SECTIONS 11-11-8, 11-11-9, AND TABLE 1 OF THIS CHAPTER OR WOULD OTHERWISE VIOLATE THIS CHAPTER. APPLICATIONS FOR PERMITS SHALL BE SUBMITTED TO AND ISSUED BY THE CITY OF MIDLAND BUILDING OFFICIAL.

THIS PLAT HAS BEEN CHECKED FOR ACCESSIBILITY OF UTILITIES:

SIGNED: _____ ONCOR ELECTRIC DELIVERY COMPANY
SIGNED: _____ AT&T TEXAS
SIGNED: _____ ATMOS ENERGY
SIGNED: _____ OPTIMUM COMMUNICATIONS
SIGNED: _____ ASTOUND COMMUNICATIONS



Location Map

SUB-26-0976

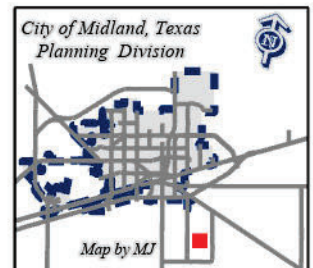
Scale: 1" = 383'

Proposed plat of Redneck Retreat, Section 8 being a plat of a 10-acre tract of land in the north half of B F Wlocott Survey, Block 38, T-2-S, Midland County, Texas.

Generally located on the west side of South County Road 1160, approximately 1,580 feet south of East County Road 1140. (Extraterritorial Jurisdiction)

LEGEND

- CITY LIMITS
- PARCEL
- PRIVATE BLDGS



©THE CITY OF MIDLAND - 2021
 THIS DATA IS NOT A SUBSTITUTION FOR A SURVEY PRODUCT, NOR IS IT DESIGNED TO BE USED AS A PRIMARY TOOL IN PERMITTING OR OTHER DECISIONS BASED SOLELY ON THE INFORMATION CONTAINED HEREIN.
 THE CITY OF MIDLAND SHALL NOT BE RESPONSIBLE FOR ANY DECISIONS BASED UPON THE USE OF THIS DATA.



PRELIMINARY PLAT REDNECK RETREAT, SECTION 8

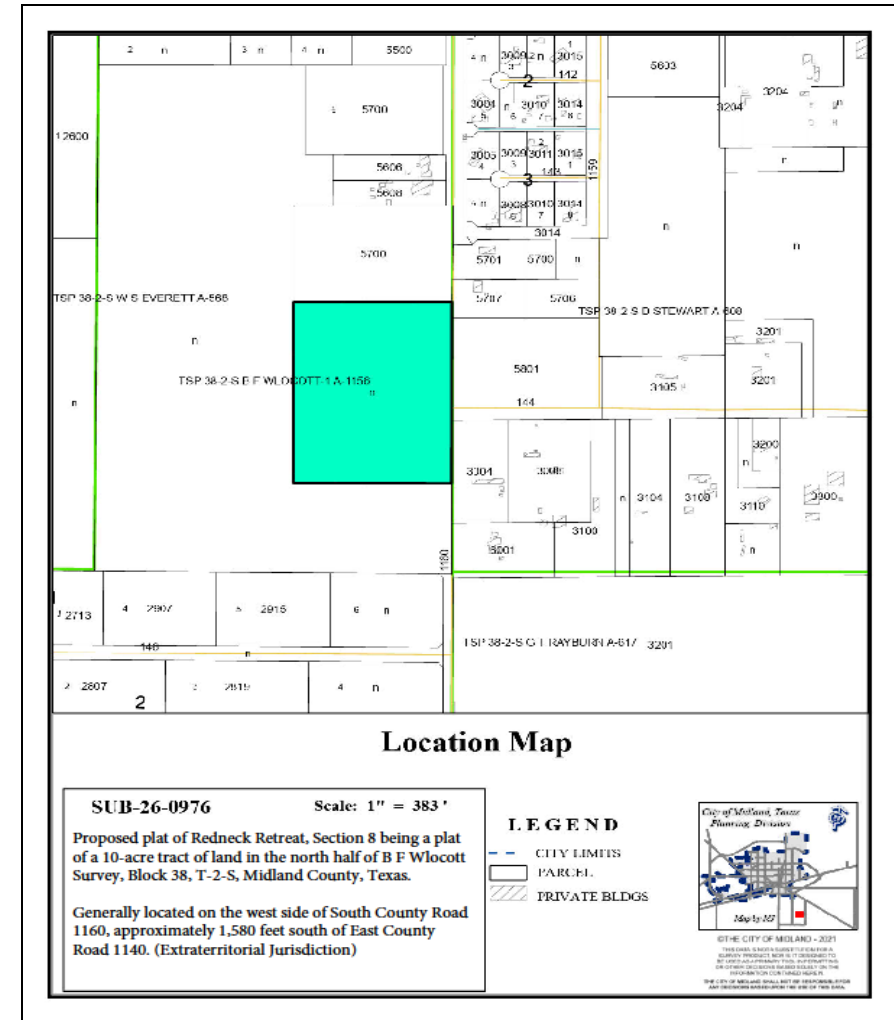


Visit Our Website

MIDLANDTEXAS.GOV

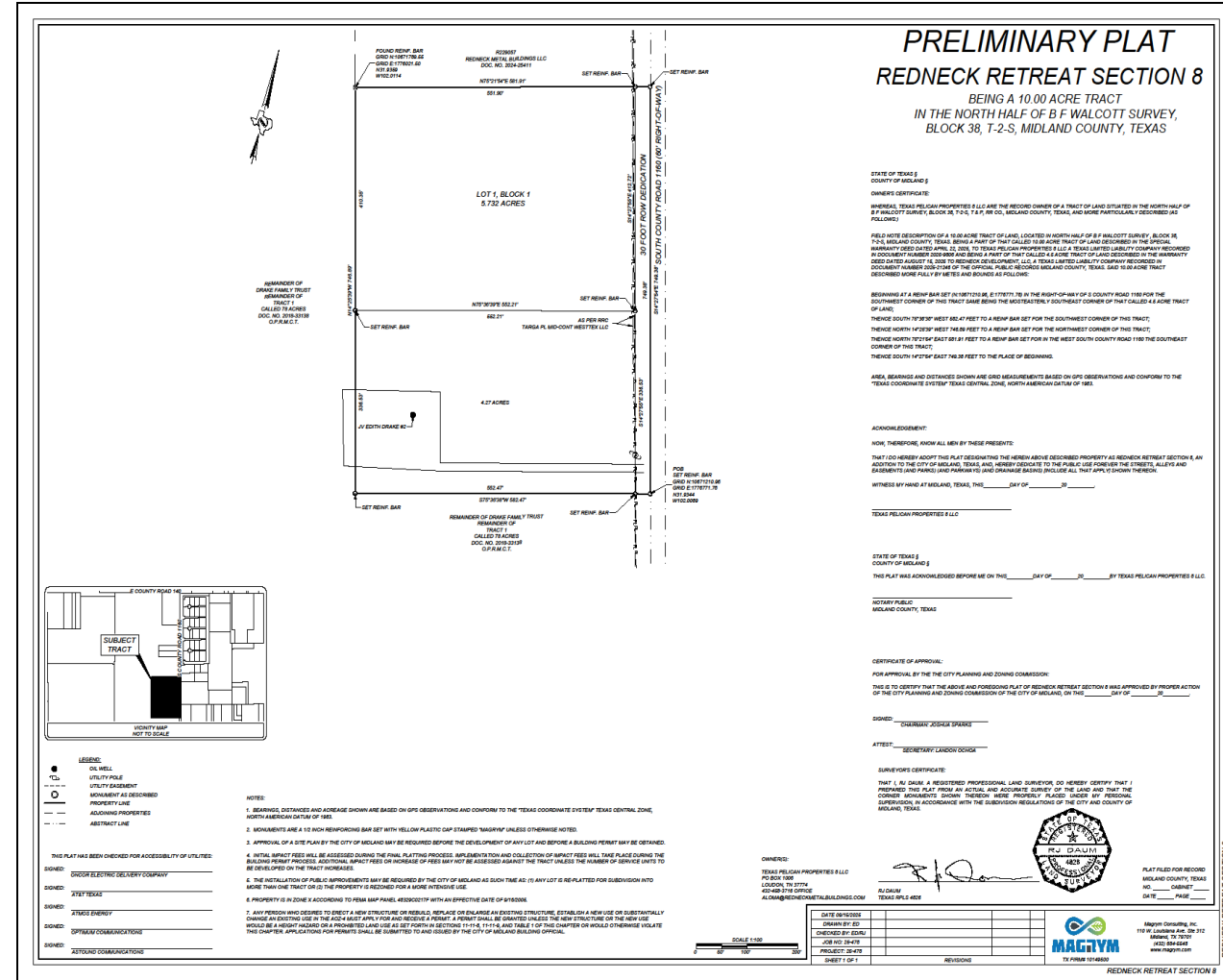
APPLICATION SUMMARY

- **Property Owner:** Texas Pelican Properties 8, LLC
- **Representative:** Magrym Consulting
- **Location:** Generally located on the west side of South County Road 1160, approximately 1,580 feet south of East County Road 1140 (Extraterritorial Jurisdiction)
- **Reason for Request:** To obtain septic permits and addresses.



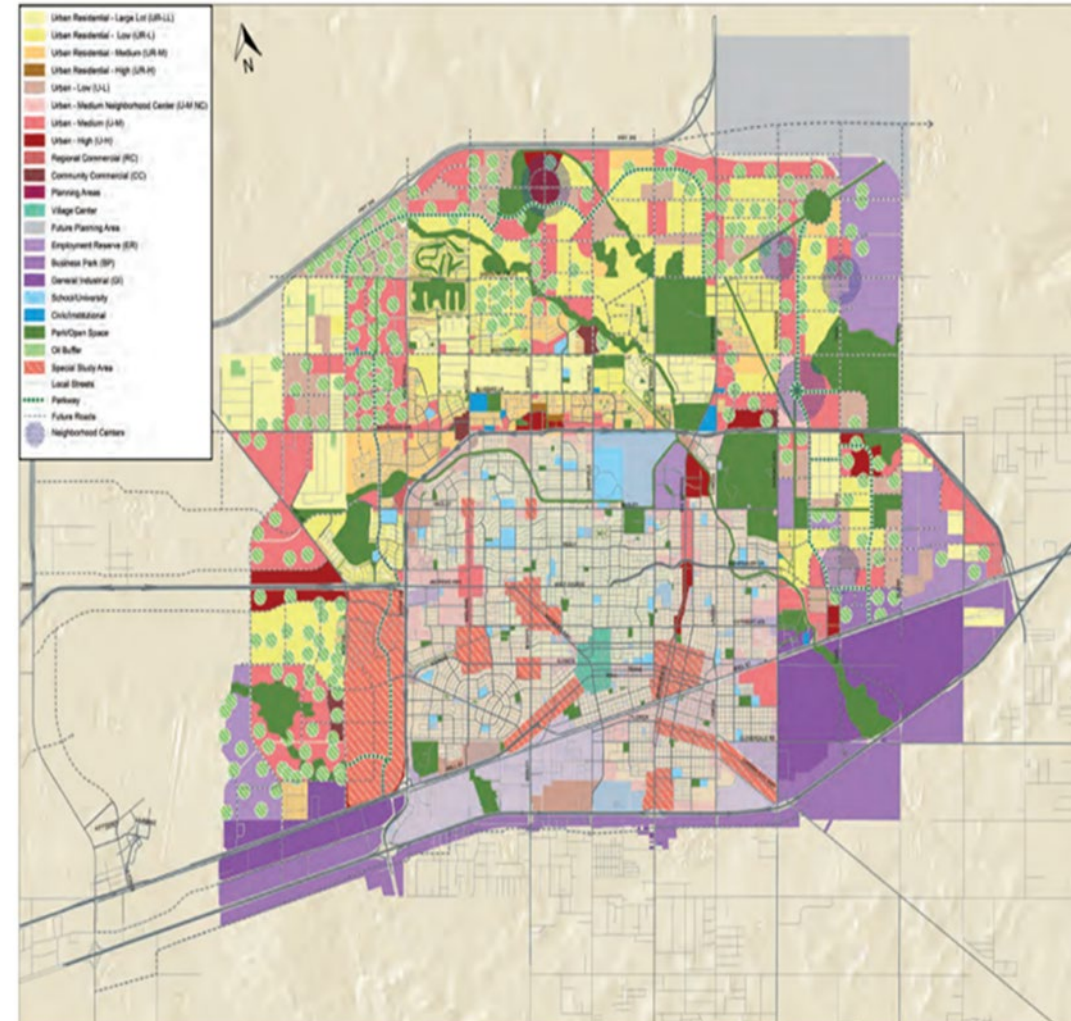
PLAT DETAILS

- Acreage: 10 acres
- Number of Existing Lots: 0
- Number Proposed Lots: 2



COMPREHENSIVE PLAN

- **Land Use Designation:** Not designated



STAFF'S RECOMMENDATION

- Staff recommends denial of this request, should this request be approved, staff recommends that it be subject to the following conditions:
 - A. Drainage report must be approved by Preliminary Plat submittal. [11-2-3(D)8]



STAFF'S RECOMMENDATION

- B. Public improvements must be completed or a request for a deferral letter must be submitted by Final Plat submittal. [11-2-3(G)1]

- C. Approval of this preliminary plat is subject to the Final plat including all plat comments, conditions, and requirements must be satisfied by all pertinent City departments before filing for recording with the County Clerk of Midland County, Texas. [11-2]

7



MISSION

Deliver exceptional services and promote a high quality of life and place for ALL our citizens.

